

PRE-BID MEETING 10/18/2022



Kalamazoo Central High School – Mechanical Improvements Project

2432 North Drake
Kalamazoo, MI 49006

OWNER



- **Karen Jackson**, Executive Supervisor, Facilities Management



- **Mike Galovan**, Senior Project Manager
- **Lee Dingemans**, Senior Project Coordinator

THE SKILLMAN TEAM



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Account Executive – Mike Kounelis

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Posted to:

www.skillmanplanroom.com

Addendum No. 01

- Deadline 10/25/22
- Guideline Construction Schedule
 - Site Logistics Plan
- Misc. Scope Clarifications
 - Phasing Plan

CONSTRUCTION TIMELINE



Review Section 01 32 00, Schedules and Reports

Refer to Guideline Schedule in Addendum 1

Notice to Proceed Date:

- December 9, 2022

Anticipated Construction Dates:

- June 12, 2023 – August 18, 2023
- &
- June 17, 2024 – August 16, 2024

SCOPE



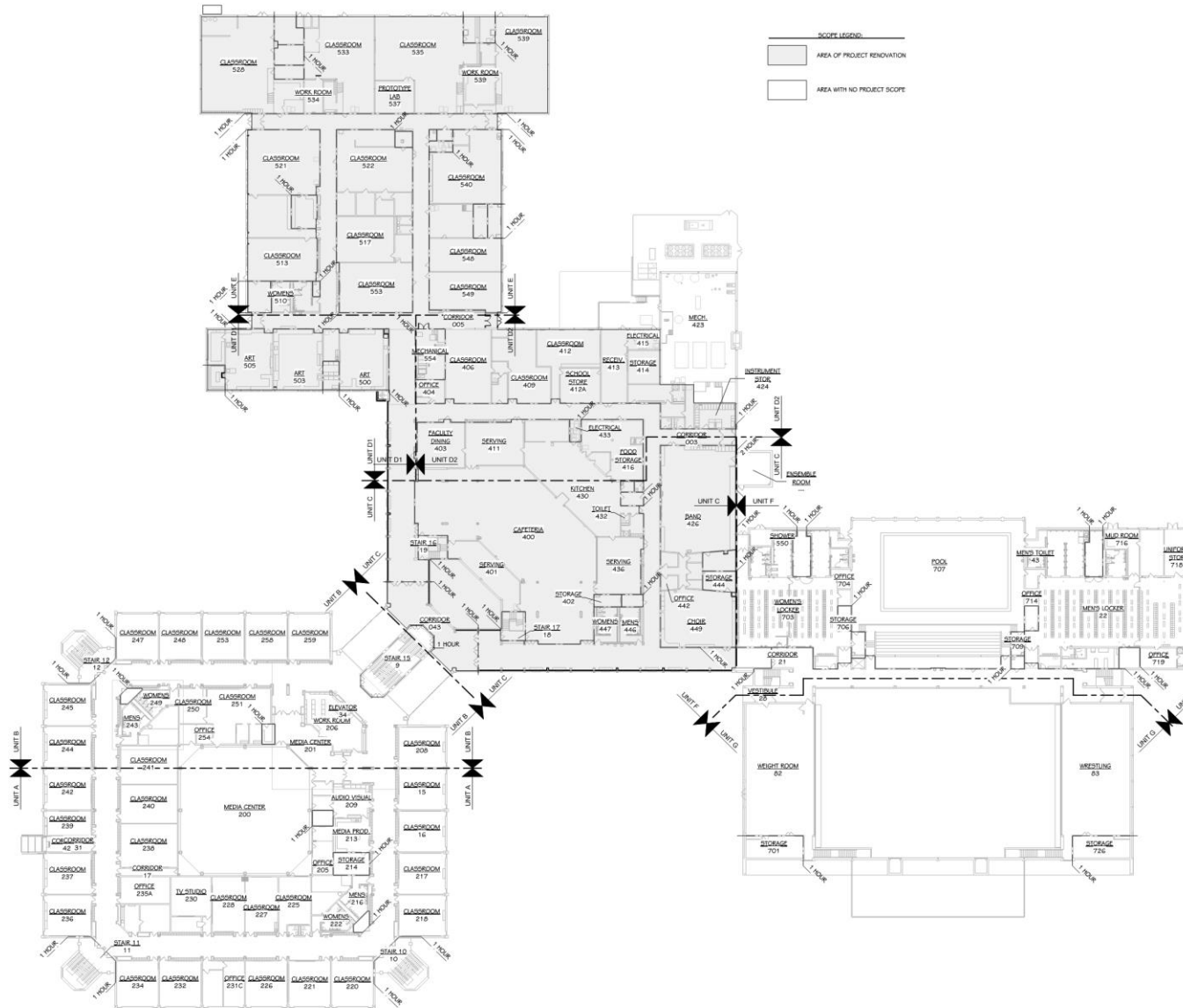
Architectural:

- Temporary enclosures and floor protection.
- Remove and salvage misc. Architectural items (Doors, Frames, Storefront, etc.) .
- Window replacement.
- Roofing replacement.
- Ceiling grid/tile removal, salvage, and reinstallation.
- Masonry piers.
- Misc. Painting and EIFS Soffits.

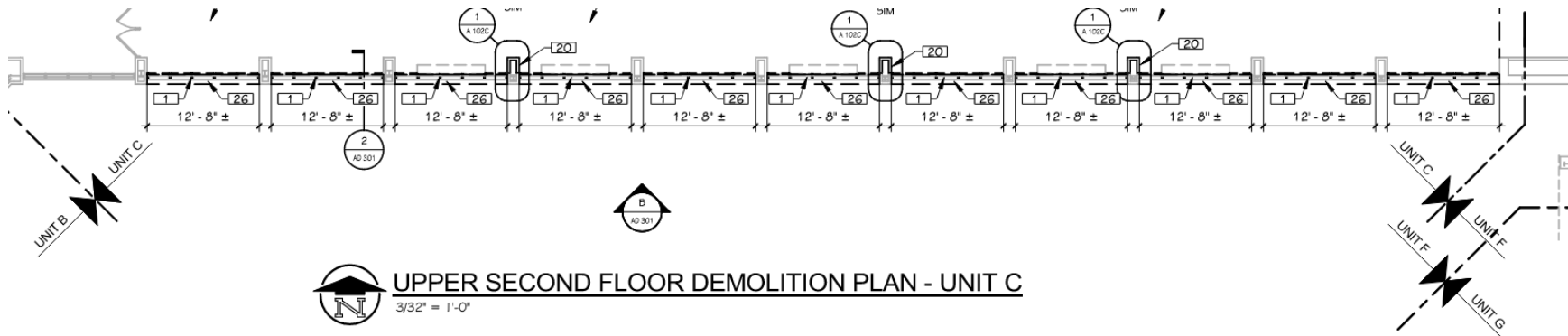
Mechanical, Electrical, Plumbing, and Technology:

- Mechanical and Plumbing demolition of ductwork, piping, and existing units.
- Louver and Grille replacement.
- New ductwork, piping, pumps, VUV's, convectors, RTU's, cabinet heaters, exhaust fans, AHU's, fin tube, etc..
- Electrical demolition of mechanical equipment.
- Remove and/or support ceiling mounted fixtures.
- Power new mechanical units.
- Remove, turnover, and reinstall technology devices.
- Install salvaged and new electrical devices and lighting.

OVERALL SECOND FLOOR CODE COMPLIANCE PLAN – G102



UPPER SECOND FLOOR DEMOLITION PLAN - UNIT C - AD102C



UPPER SECOND FLOOR DEMOLITION PLAN - UNIT C

3/32" = 1'-0"

REMOVE AND SALVAGE
CEILING TILES AND GRID -
STORE AND PROTECT
THROUGH CONSTRUCTION



REMOVE AND DISCARD
ALUMINUM STOREFRONT
SYSTEM

REMOVE AND SALVAGE
CEILING TILES AND GRID -
STORE AND PROTECT
THROUGH CONSTRUCTION



REMOVE AND DISCARD
ALUMINUM STOREFRONT
SYSTEM

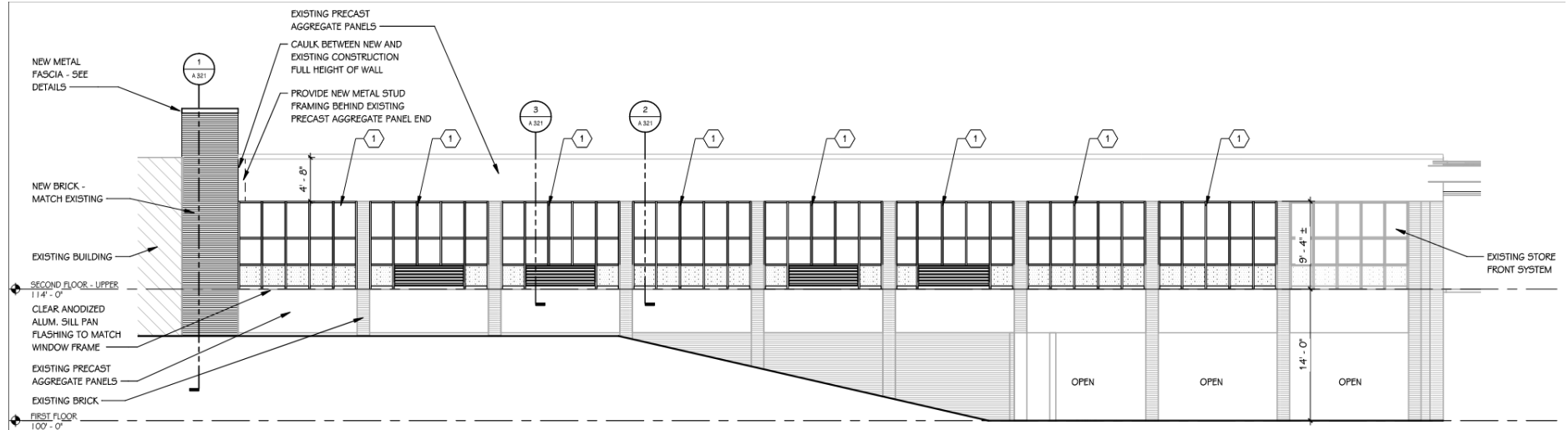
REMOVE AND
DISCARD ALUMINUM
STOREFRONT SYSTEM



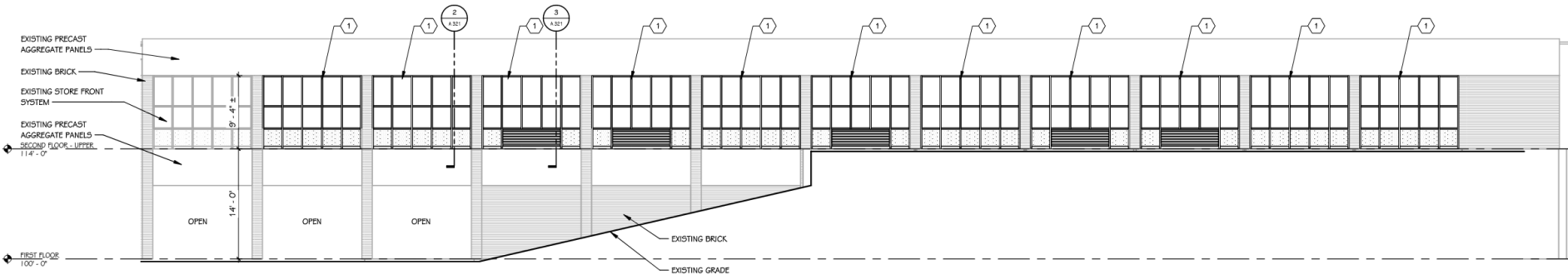
REMOVE BRICK PIERS AT
LOCATIONS INDICATED ON DEMO
PLANS. REMOVE BRICK FROM
TOP OF TERRAZZO WALL BASE TO
DECK ABOVE. ALLOW FOR BRICK
TOOTH IN AS REQUIRED FOR
INSTALLATION OF NEW BRICK

TERRAZZO FLOOR AND WALL
BASE TO REMAIN. PROTECT
DURING CONSTRUCTION

EXTERIOR ELEVATIONS - A301

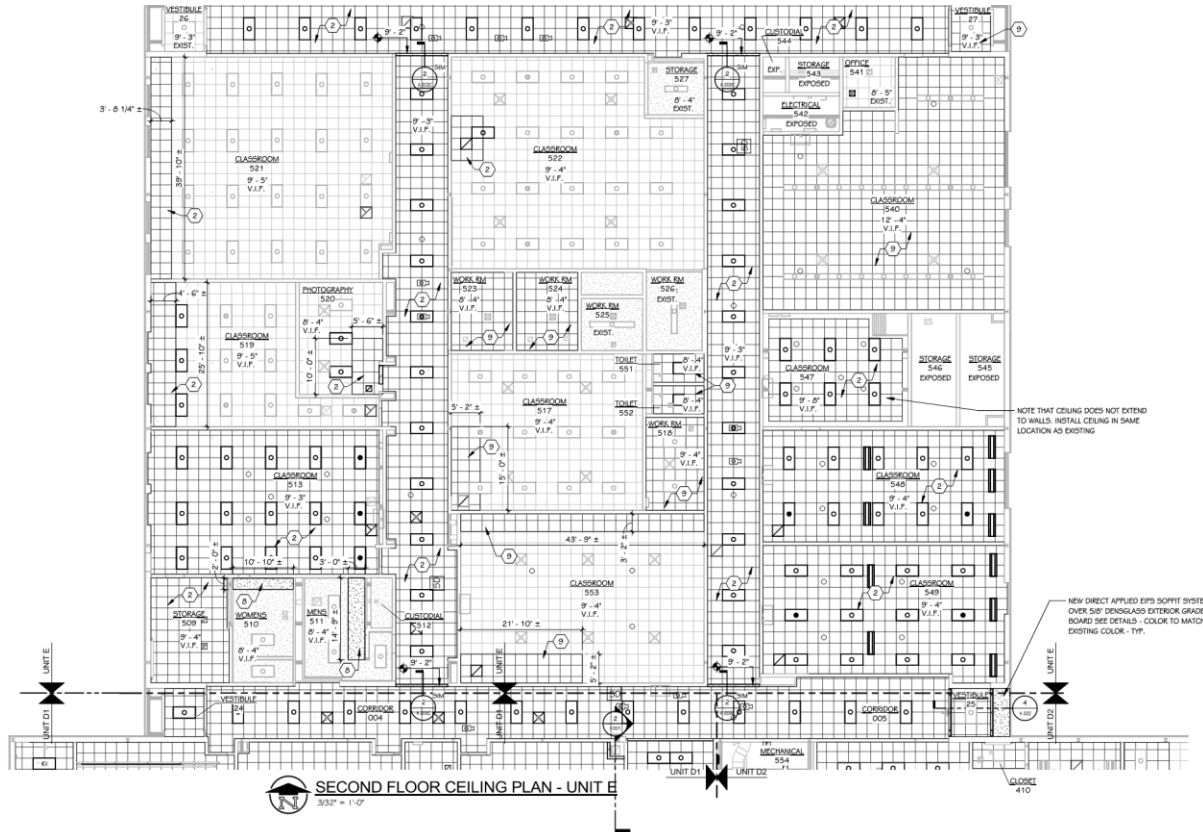


A WEST ELEVATION - UNIT C
1/8" = 1'-0"



B SOUTH ELEVATION - UNIT C
1/8" = 1'-0"

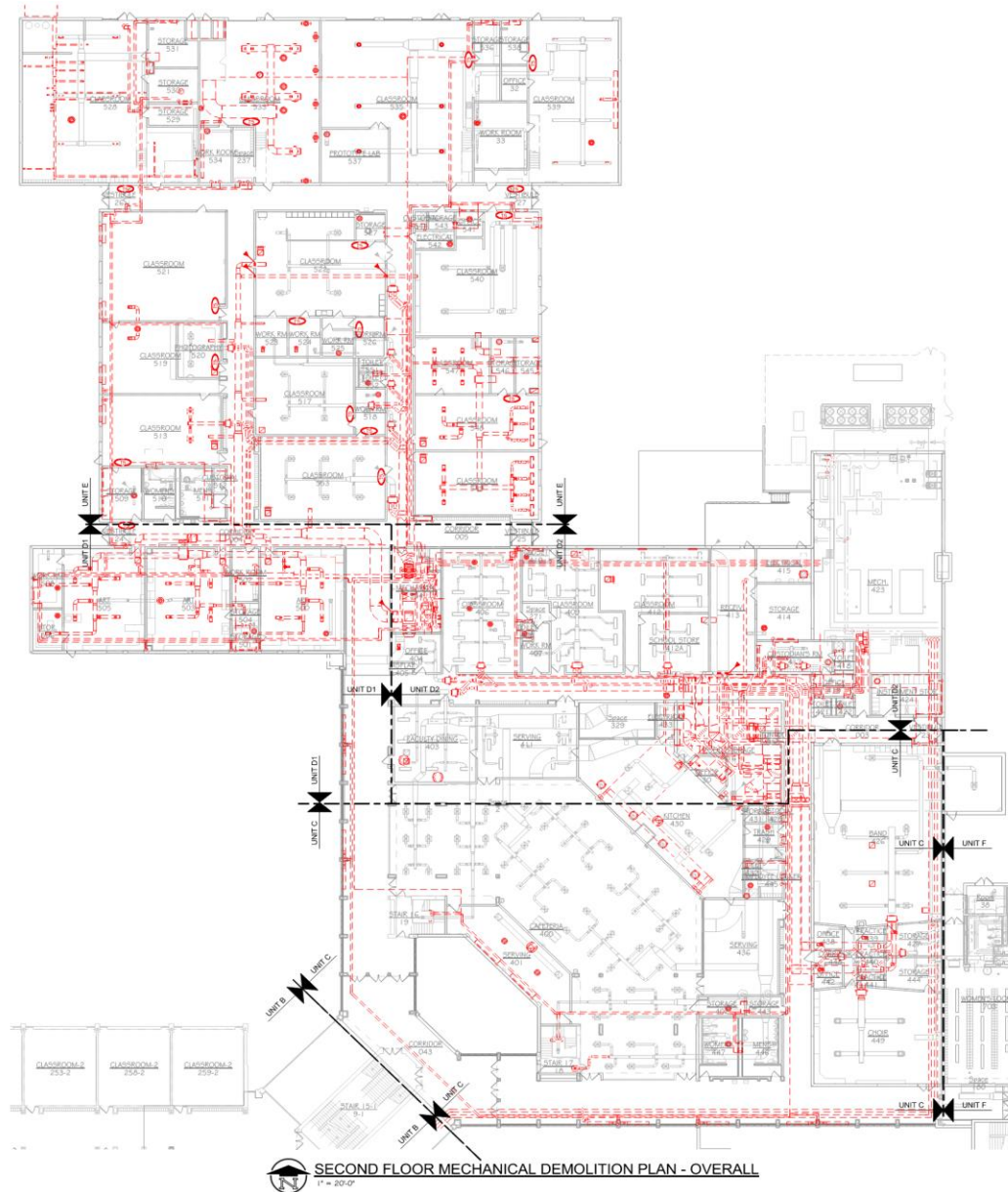
SECOND FLOOR REFLECTED CEILING PLAN - UNIT E - A202E



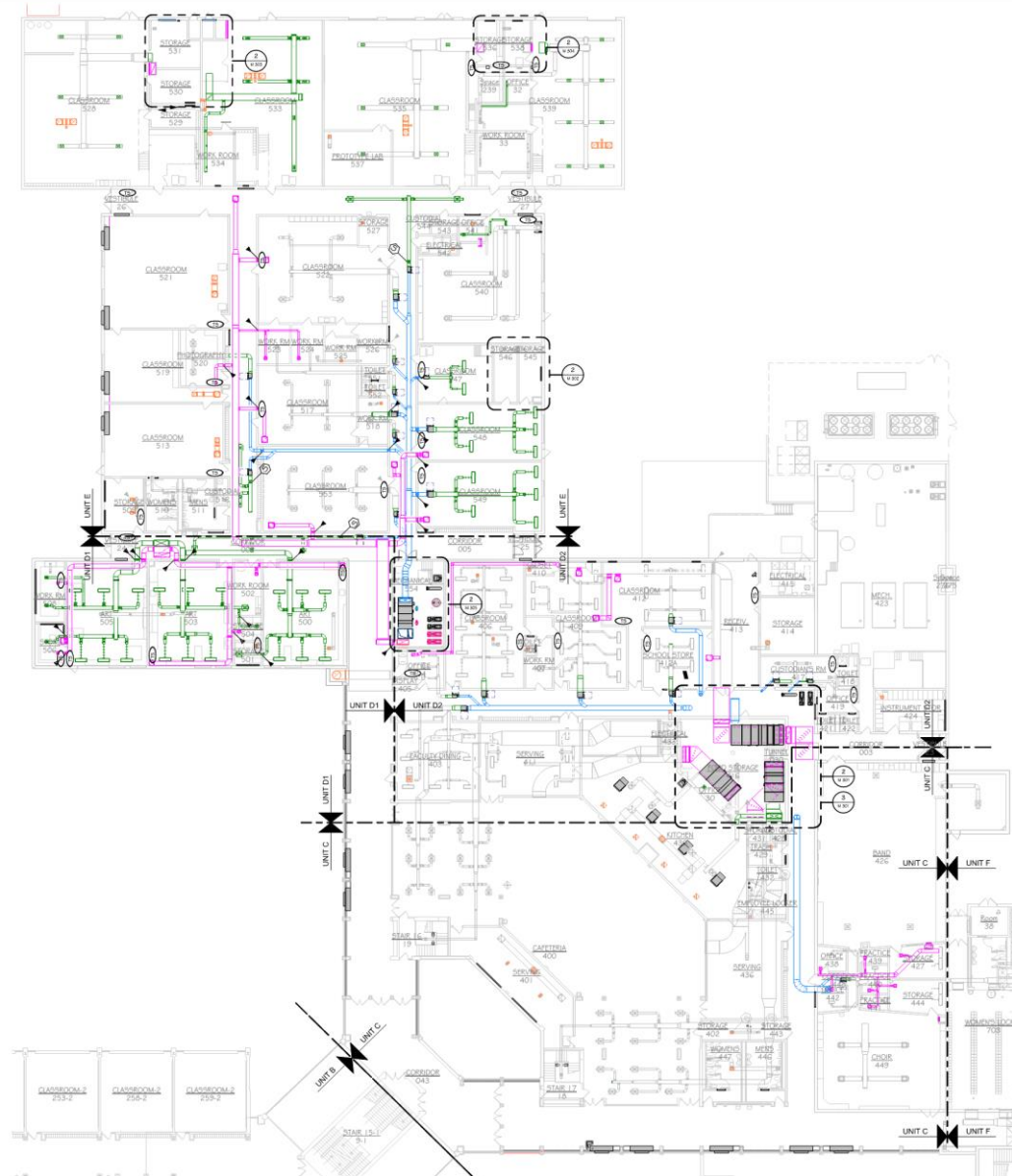
KEYED NOTES - NEW CONSTRUCTION

- 1 NEW CLEAR ANODIZED ALUMINUM STOREFRONT - MATCH EXISTING MULLION LOCATIONS.
- 2 REINSTALL SALVAGED CEILING TILE AND GRID SYSTEM AT EXISTING HEIGHT AND LAYOUT.
- 3 REINSTALL SALVAGED CASEWORK.
- 4 NEW STEEL LINTEL, PRIME AND PAINT EXPOSED TO MATCH WALL.
- 5 PRIME AND PAINT NEW WALL TO MATCH EXISTING. ADD WALL BASE TO MATCH EXISTING.
- 6 REINSTALL SALVAGED DOOR, FRAME, SIDELITE, TRANSOM AND HARDWARE.
- 7 NEW CLEAR ANODIZED ALUMINUM LOUVER SYSTEM - COORDINATE WITH MECHANICAL. WITH BIRD SCREEN.
- 8 NEW PLASTER CEILING AND SUSPENDED FRAMING SYSTEM - PAINT TO MATCH EXISTING CEILING. PAINT ENTIRE CEILING IF ONLY PARTIAL CEILING REPLACEMENT.
- 9 REINSTALL SALVAGED CEILING TILE IN EXISTING GRID.
- 10 TOOTH-IN SALVAGED BRICK AND CMU AT EXISTING DUCT PENETRATION.
- 11 3" INSULATED METAL BLANKOFF PANEL (BLACK) - CAULK ALL SIDES TO EXISTING WALL CONSTRUCTION. SECURE WITH CLIP ANGLES INTO MASONRY.
- 12 NEW 24x24 ROOF OPENING, STRUCTURAL FRAMING, ROOF CURB, PATCH ROOF WEATHER TIGHT AND MATCH EXISTING CONDITIONS - COORDINATE WITH MECHANICAL.
- 13 NEW ROOF TOP UNIT (SEE MECHANICAL). PROVIDE NEW ROOF OPENINGS, ROOF CURB AND PREP FOR NEW RTU. SEE MECHANICAL AND STRUCTURAL FOR MORE INFORMATION.
- 14 NEW RETURN GRILLE IN NEW 4" CMU WALL. TOOTH CMU WALL INTO EXISTING. BULL NOSE REQUIRED. - SEE MECH FOR ADDITIONAL INFO. PROVIDE STEEL LINTEL PER STRUCTURAL DRAWINGS ABOVE NEW GRILLE. PRIME AND PAINT NEW WALL TO MATCH EXISTING.
- 15 NEW CAVITY WALL - BRICK, 1 3/4" AIR GAP, 3" RIGID INSULATION - MATCH EXISTING BRICK COLOR.
- 16 NEW 6" METAL FASCIA OVER TREATED WOOD 2X BLOCKING - SEE DETAILS.
- 17 NEW EPDM ROOF MEMBRANE WITH 1 1/2" RIGID INSULATION ON 1 1/2" METAL DECK - WRAP MEMBRANE UP AND OVER PARAPET.
- 18 INFILL EXISTING OPENING THROUGH EXISTING CMU WALL ABOVE CEILING. APPROX. OPENING SIZE IS 10" DIA. INFILL TO MATCH EXISTING CONSTRUCTION. - REFER TO MECH. DWGS. FOR MORE INFORMATION.
- 19 NEW 4" CMU WALL FULL HEIGHT WITH BULLNOSE CORNER. WITH NEW RETURN GRILLE (SEE MECHANICAL DRAWINGS). PROVIDE STEEL LINTEL PER STRUCTURAL DRAWINGS ABOVE NEW GRILLE. PRIME AND PAINT NEW WALL TO MATCH EXISTING.
- 20 NEW LOUVER IN EXISTING WALL. SEE STRUCTURAL FOR LINTEL INFORMATION. SEE MECHANICAL FOR MORE INFORMATION.
- 21 NEW MECH. CONDENSING UNIT WITH PIPE PENETRATIONS THROUGH ROOF SET NEW CONDENSING UNIT ON SLIP SHEET, SLIP SHEET TO MATCH EXISTING ROOF. PATCH ROOF WEATHER TIGHT AND MATCH EXISTING CONDITIONS - COORDINATE WITH MECHANICAL.
- 22 NEW EXHAUST FAN ON EXISTING ROOF CURB - SEE MECH. FOR MORE INFORMATION.
- 23 EXISTING MECHANICAL EQUIPMENT TO REMAIN - SEE MECHANICAL DRAWINGS FOR MORE INFORMATION.
- 24 NEW RELIEF HOOD ON NEW ROOF CURB WITH EXISTING OPENING THROUGH ROOF. PATCH WALL WEATHER TIGHT.
- 25 NEW AIR INTAKE HOOD ON NEW ROOF CURB - PATCH ROOF WEATHER TIGHT TO MATCH EXISTING.
- 26 AT REMOVED MECHANICAL ROOF EQUIPMENT PATCH EXISTING ROOF WEATHER TIGHT.
- 27 MINOR TERRAZZO REPAIR REQUIRED AT NEWLY EXPOSED FLOOR AREA
- 28 NEW MECHANICAL LOUVER, SILL AT 8" AFF. PAINT TO MATCH WALL - SEE MECHANICAL DRAWINGS
- 29 PATCH PRIME AND PAINT WALL SURROUNDING NEW LOUVER TO MATCH EXISTING ALL SIDES OF NEW LOUVER.
- 30 PRIME AND PAINT EXISTING WALLS TO MATCH EXISTING AS REQUIRED FROM NEW CONSTRUCTION DAMAGE ALL SIDES.
- 31 INSTALL SALVAGED SOUND PANELS AT NEW WALLS. HEIGHT TO MATCH EXISTING SURROUNDING PANELS.
- 32 PROVIDE A CLEAR ANODIZED ALUM. CHASE UP ALONG THE SIDE OF THE COLUMN FULL HEIGHT. SIZE TO BE MINIMUM REQUIRED FOR MECHANICAL PIPES. MATCH EXISTING CHASES. FULL HEIGHT.
- 33 AT ENLARGED OPENING PREP WALL FOR NEW MECH. UNIT. REFINISH WALL AS REQUIRED TO MATCH EXISTING

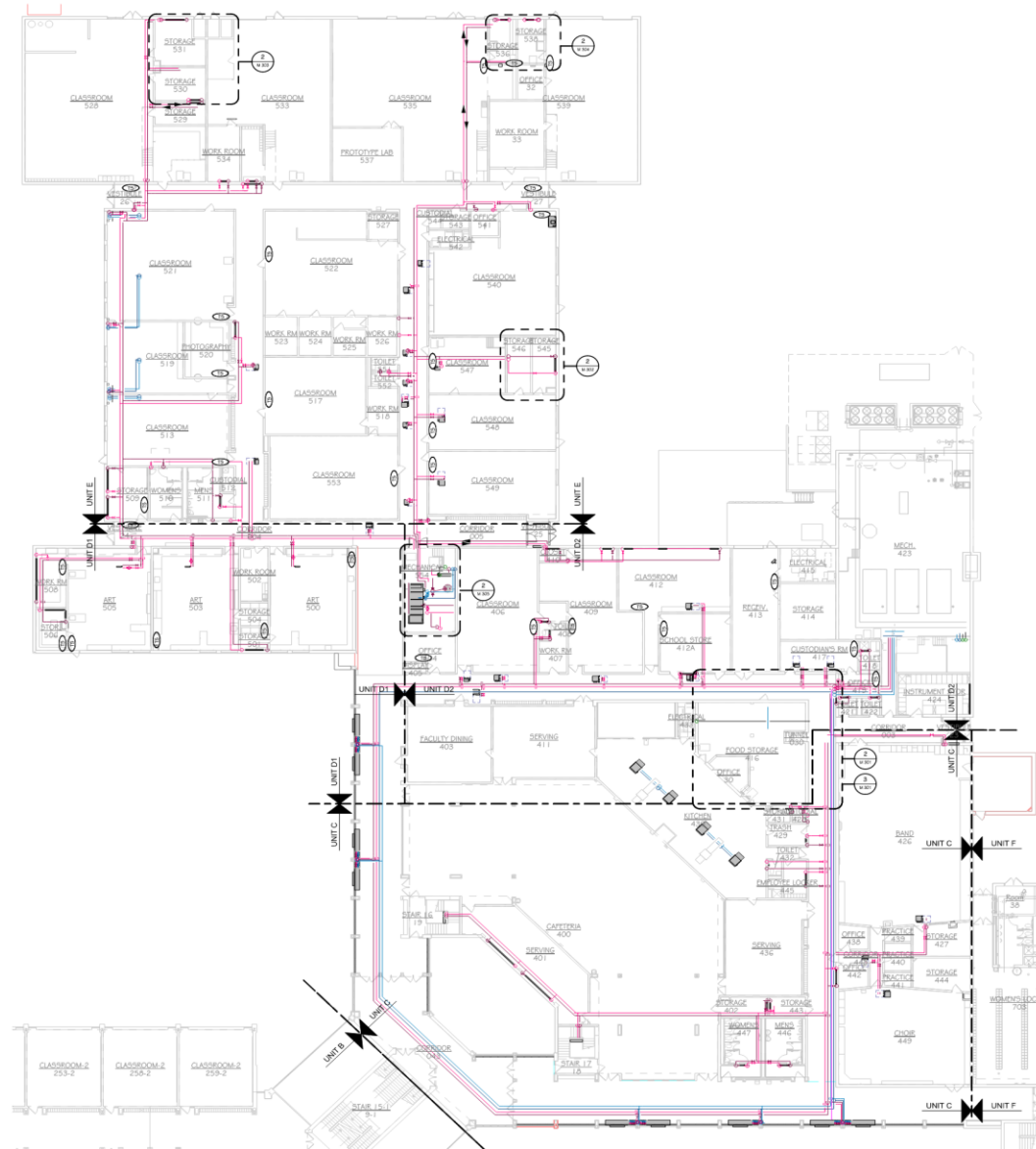
SECOND FLOOR MECHANICAL DEMOLITION PLAN - OVERALL - MD102




SECOND FLOOR SHEET METAL PLAN - OVERALL - M102

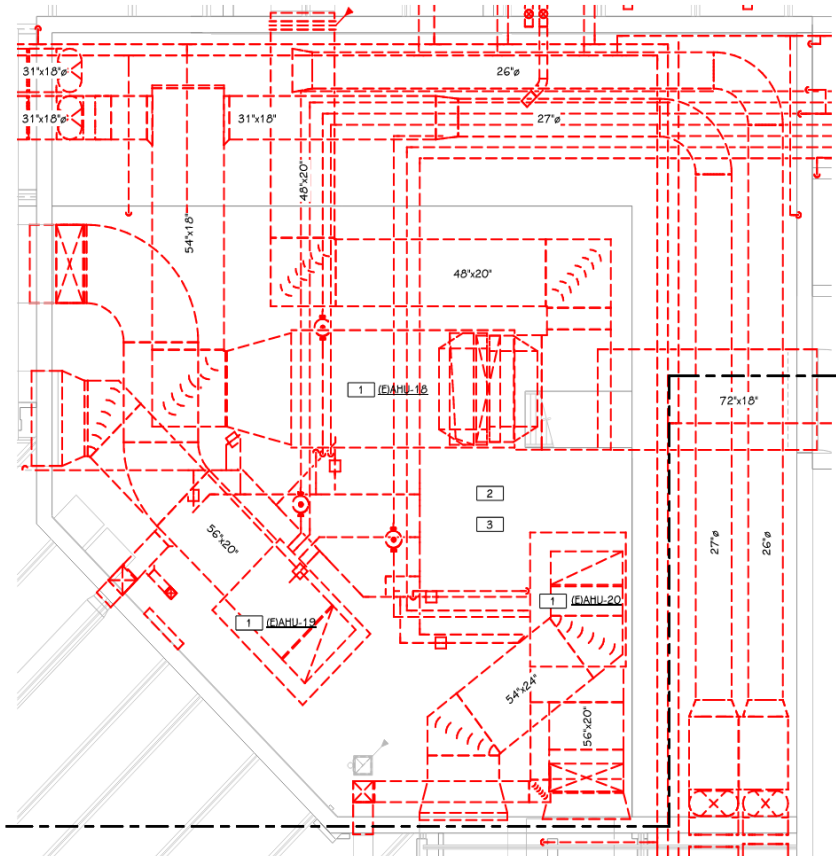


SECOND FLOOR HVAC PIPING PLAN - OVERALL - M202



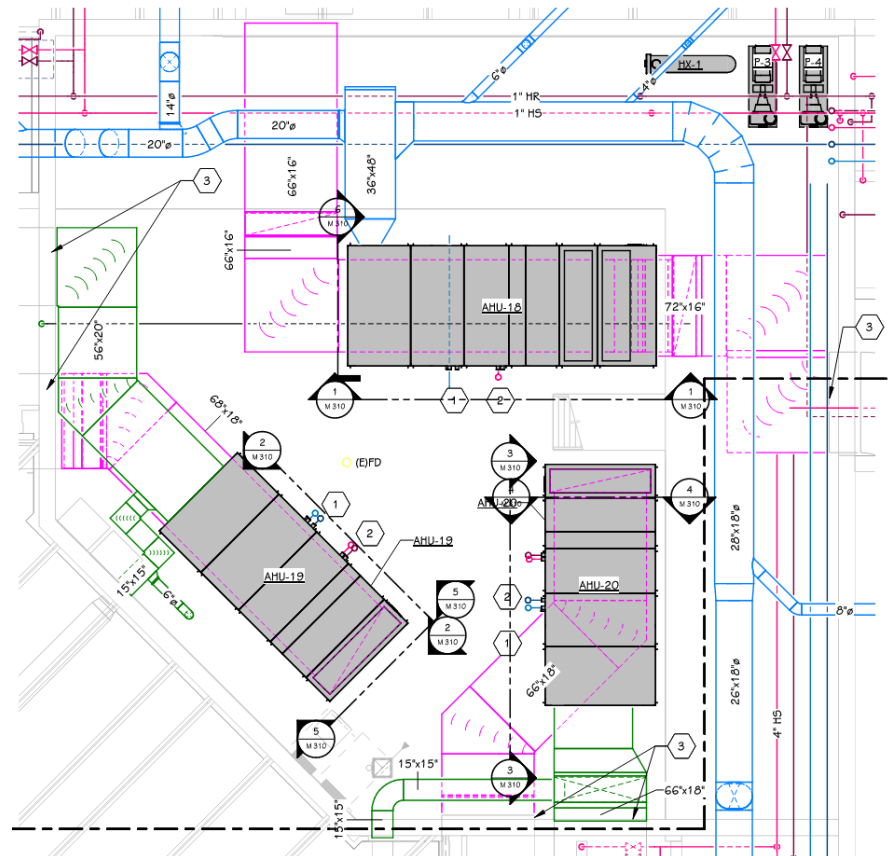
 **SECOND FLOOR HVAC PIPING PLAN - OVERALL**
1" = 20'-0"

ENLARGED MECHANICAL PLANS - M301



ENLARGED DEMOLITION PLAN - FAN ROOM 3-200

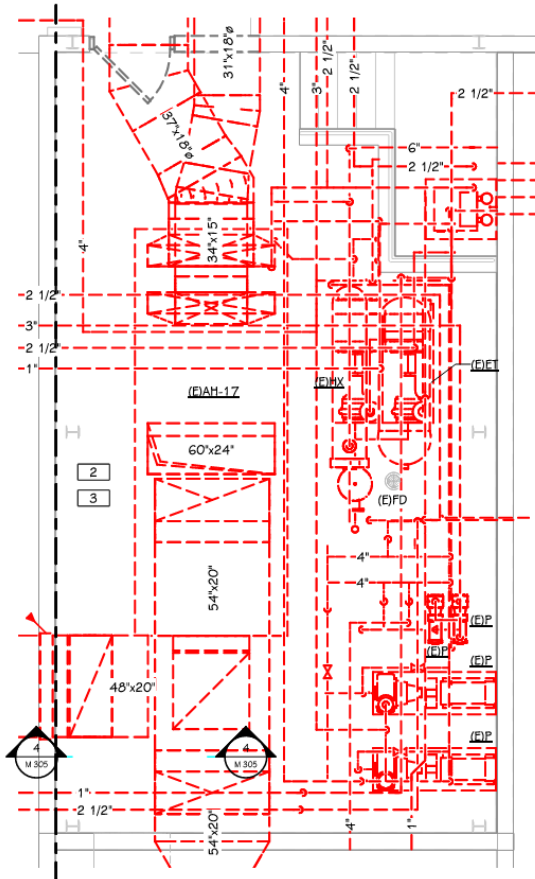
3/16" = 1'-0"



ENLARGED MECHANICAL PLAN - LOWER FAN ROOM 3-200

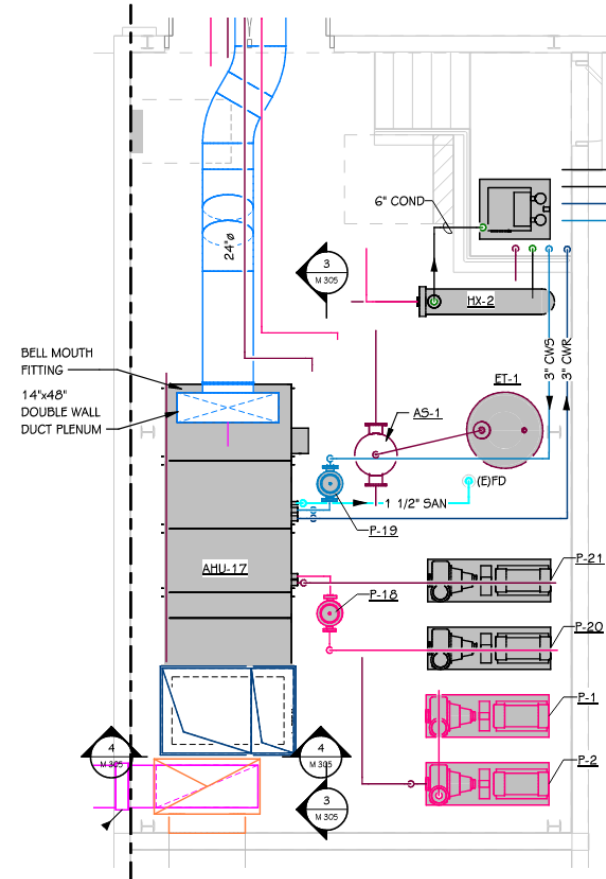
3/16" = 1'-0"

ENLARGED MECHANICAL PLANS - M305



ENLARGED DEMOLITION PLAN - MECHANICAL ROOM 4109

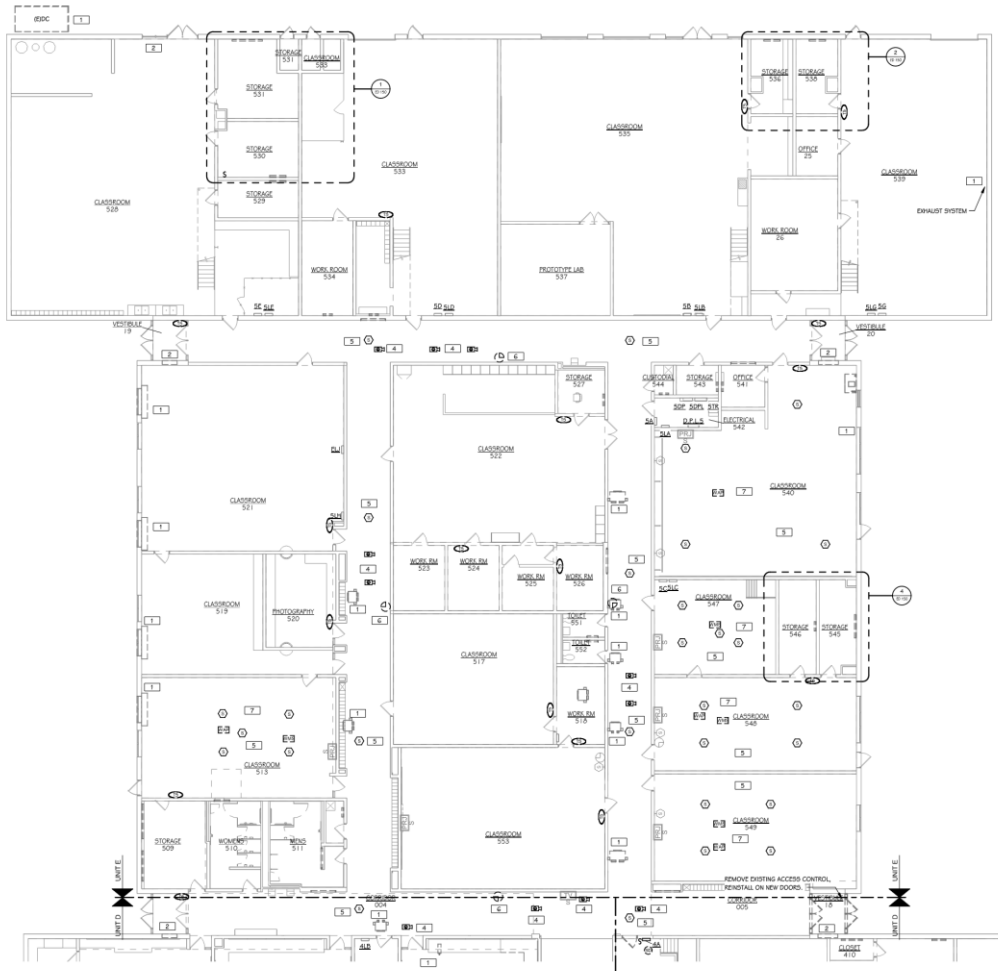
1/4" = 1'-0"



ENLARGED MECHANICAL PLAN - MECHANICAL ROOM 4109

1/4" = 1'-0"

SECOND FLOOR ELECTRICAL DEMOLITION PLAN - UNIT E - ED102E



GENERAL ELECTRICAL DEMOLITION NOTES

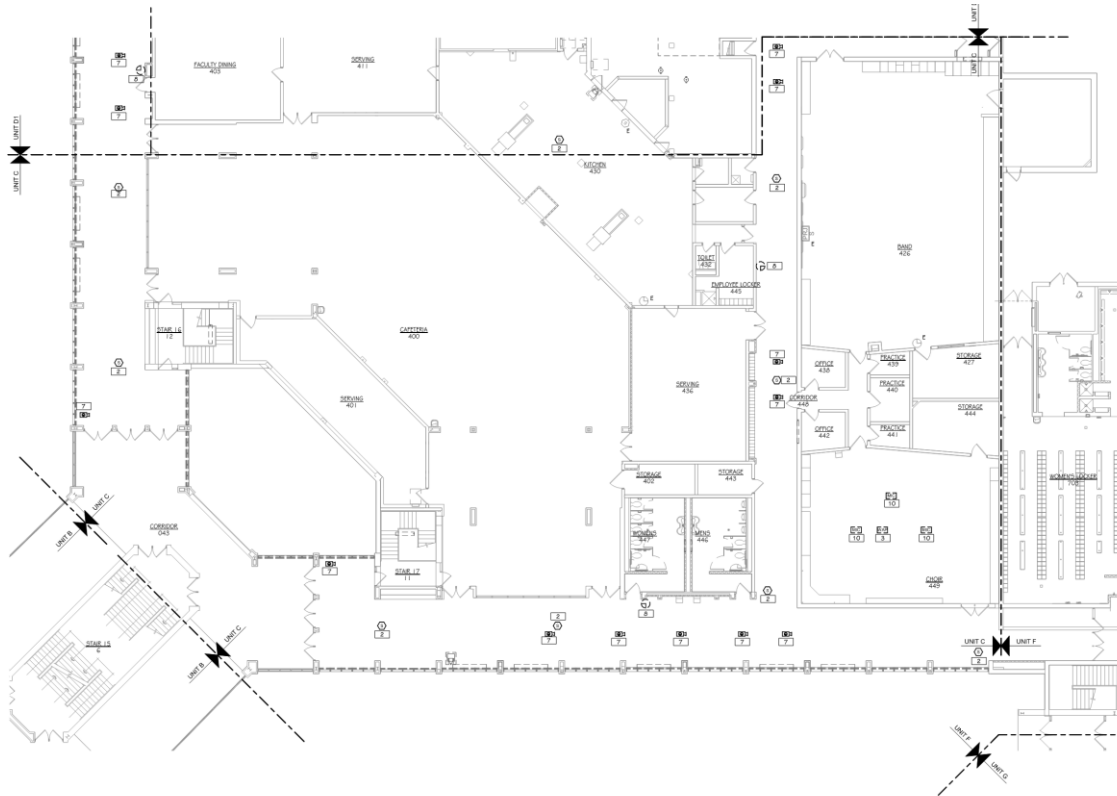
- 1 FIXTURES, DEVICES AND EQUIPMENT SHOWN DASHED OR WITH AN "X" ARE TO BE REMOVED. FIXTURES, DEVICES AND EQUIPMENT SHOWN LIGHTLY OR WITH AN "E" ARE EXISTING TO REMAIN UNDISTURBED.
- 2 DEVICES SHOWN WITH AN "R" ARE EXISTING TO BE REPLACED WITH NEW DEVICE AND COVERPLATE. REUSE EXISTING CODE COMPLIANT WIRING.
- 3 REMOVE ALL LIGHT FIXTURES, DEVICES, WIRING AND EXPOSED CONDUIT FROM WALL AND CEILINGS TO BE DEMOLISHED. COORDINATE WITH ARCHITECTURAL. REMOVE ABANDONED EXPOSED CONDUIT AND ABANDONED WIRING BACK TO SOURCE. RE-LABEL CIRCUIT BREAKER AS A SPARE.
- 4 TEMPORARILY SUPPORT EXISTING CEILING DEVICES TO REMAIN IN EXISTING CEILINGS TO BE REPLACED. REINSTALL DEVICES INTO NEW CEILING.
- 5 CONTRACTOR SHALL BE RESPONSIBLE FOR PROJECT PHASING. TEMPORARY POWER, EGRESS LIGHTING, EXIT SIGNAGE, PULL STATIONS AND BATTERY BACKUP LIGHTING SHALL BE PROVIDED AS REQUIRED WHILE BUILDING IS OCCUPIED BETWEEN PHASES OF CONSTRUCTION.
- 6 PATCH AND REPAIR ANY MATERIALS TO MATCH ADJACENT FOR ANY EQUIPMENT OR LIGHT FIXTURES REMOVED OR MATERIALS DAMAGED IN REMOVAL.



SECOND FLOOR ELECTRICAL DEMOLITION PLAN - UNIT E

3/32" = 1'-0"

SECOND FLOOR TECHNOLOGY DEMOLITION PLAN – UNIT C – TD102C

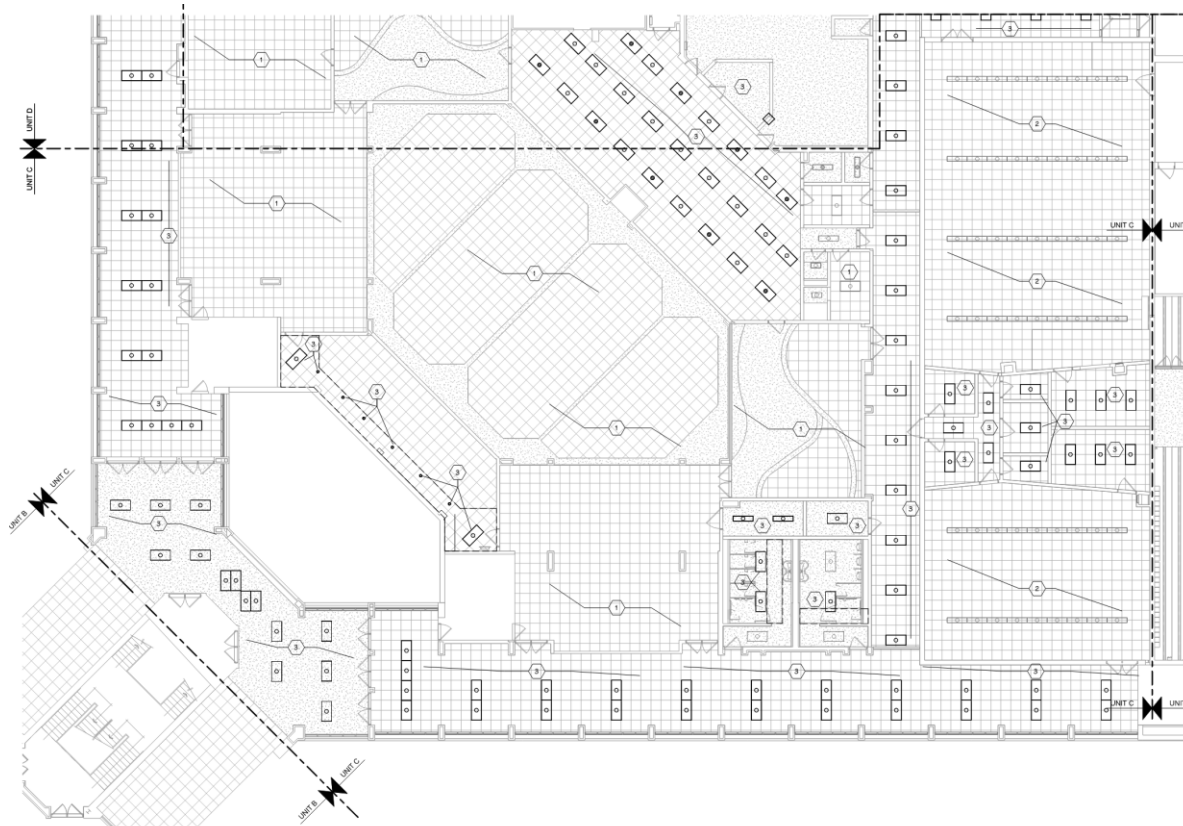


 SECOND FLOOR TECHNOLOGY DEMOLITION PLAN - UNIT C
3/12" = 1'-0"

TECHNOLOGY DEMOLITION KEYED NOTES

- 1 RECESSED AV SPEAKERS TO BE REMOVED AND DELIVERED TO KPS TECHNOLOGY SERVICES, LOCATED AT 600 W. VINE ST. KALAMAZOO, MI 49008. DOCUMENT SPEAKER LOCATION FOR FUTURE INSTALLATION IN NEW CEILING. COIL CABLE IN CEILING FOR FUTURE USE.
- 2 RECESSED PAGING SPEAKER TO BE REMOVED AND DELIVERED TO KPS TECHNOLOGY SERVICES. PAGING SPEAKER WIRE TO BE RELOCATED TO CENTER OF CLASSROOM FOR CEILING SPEAKER IN NEW CEILING.
- 3 WIRELESS ACCESS POINT TO BE REMOVED AND DELIVERED TO KPS TECHNOLOGY SERVICES. DOCUMENT CABLE ID, MAC ADDRESS AND LOCATION FOR FUTURE INSTALLATION IN NEW CEILING. COIL CABLE IN CEILING FOR FUTURE USE.
- 4 AUDIO ENHANCEMENT WIRELESS MICROPHONE SENSOR TO BE REMOVED AND DELIVERED TO KPS TECHNOLOGY SERVICES. DOCUMENT CABLE ID, MAC ADDRESS AND LOCATION FOR FUTURE INSTALLATION IN NEW CEILING. COIL CABLE IN CEILING FOR FUTURE USE.
- 5 WALL MOUNT PROJECTOR TO REMAIN IN PLACE. UNPLUG FROM POWER AND COVER WITH PLASTIC TO PREVENT DUST AND DAMAGE.
- 6 SURFACE MOUNT SPEAKER TO REMAIN IN PLACE. COVER WITH PLASTIC TO PREVENT DUST AND DAMAGE.
- 7 SECURITY CAMERA TO BE REMOVED AND DELIVERED TO KPS TECHNOLOGY SERVICES. DOCUMENT CABLE ID, MAC ADDRESS, COVERAGE ZONE AND LOCATION FOR FUTURE INSTALLATION IN NEW CEILING. COIL CABLE IN CEILING FOR FUTURE USE. COORDINATE WITH OWNER FOR FINAL COVERAGE ZONE
- 8 BACK-TO-BACK DIGITAL PRIMEX CLOCK TO BE REMOVED AND DELIVERED TO KPS TECHNOLOGY SERVICES. DOCUMENT CABLE ID, MAC ADDRESS AND LOCATION FOR FUTURE INSTALLATION IN NEW CEILING.
- 9 CEILING MOUNT PROJECTORS TO BE REMOVED AND DELIVERED TO KPS TECHNOLOGY SERVICES. DOCUMENT CABLE ID, MAC ADDRESS AND LOCATION FOR FUTURE INSTALLATION IN NEW CEILING. COIL CABLE IN CEILING FOR FUTURE USE.
- 10 REMOVE MICROPHONE FROM CEILING, COIL CABLES, DOCUMENT LOCATION, AND DELIVER TO KPS TECHNOLOGY SERVICES.

SECOND FLOOR LIGHTING PLAN - UNIT C - E202C



LIGHTING KEYED NOTES

- 1 NO CEILING OR CEILING PAD REMOVAL. WHERE LIGHTING IS SHOWN IT IS FOR COORDINATION AND FOR REFERENCE ONLY.
- 2 EXISTING LIGHTING SHOWN FOR MECHANICAL COORDINATION AND FOR REFERENCE ONLY. EXISTING GRID TO REMAIN, EXISTING TILES TO BE REMOVED AND REPLACED BY OTHERS. TEMPORARILY SUPPORT AND REINSTALL ROOM OCCUPANCY SENSOR(S) IN NEW GRID.
- 3 TEMPORARILY SUPPORT EXISTING LIGHT FIXTURES TO REMAIN WHILE EXISTING CEILING IS BEING DEMOLISHED. REINSTALL EXISTING LIGHTING IN NEW GRID. COORDINATE WITH MECHANICAL AND GENERAL TRADES. TEMPORARILY SUPPORT AND REINSTALL ROOM OCCUPANCY SENSOR(S) IN NEW CEILING.
- 4 CONNECT NEW LIGHTS TO ROOM LIGHTING AND EMERGENCY LIGHTING CIRCUITS AT NEAREST JUNCTION BOX REMAINING FROM DEMOLITION. EXTEND AND REWORK EXISTING ROOM LIGHTING CIRCUITS AS REQUIRED. EXISTING CIRCUIT NUMBERS, WHERE INDICATED, ARE SHOWN FOR REFERENCE ONLY AND NEED TO BE FIELD VERIFIED.

PHASING PLAN



KALAMAZOO CENTRAL HVAC IMPROVEMENTS 2023 - PRELIMINARY PHASING PLAN 5.31.2022

Phase 1: June - August 2023

Phase 2: June - August 2024

TowerPinkster
Architecture - Engineering - Interiors

242 East Kalamazoo Avenue, Suite 100
Kalamazoo, MI 49001
616.450.0616
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PRELIMINARY

ISSUED FOR DATE

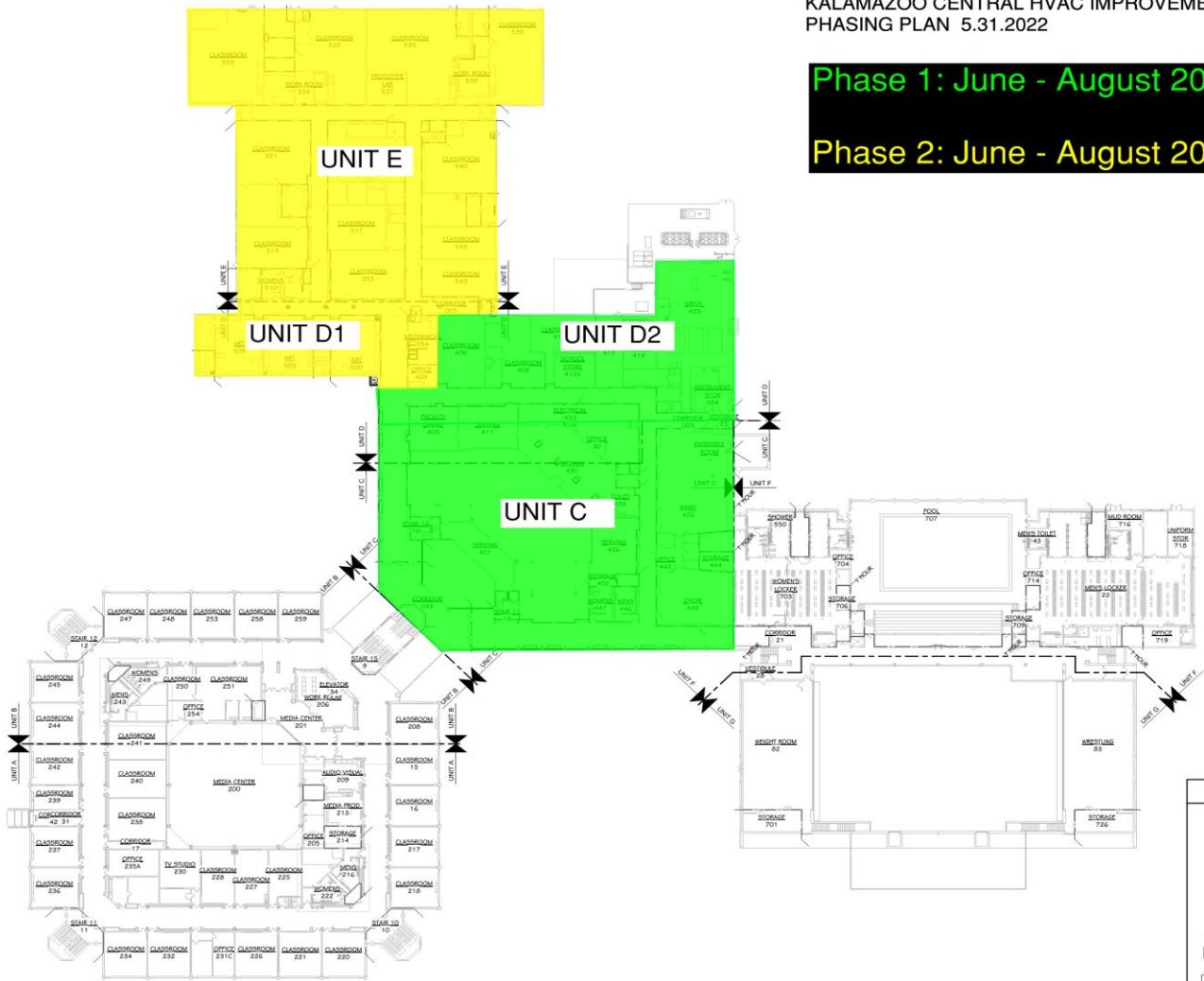
PROJECT TITLE
KALAMAZOO CENTRAL
HIGH SCHOOL
MECHANICAL
IMPROVEMENTS
PROJECT

OWNER
KALAMAZOO PUBLIC
SCHOOLS
Kalamazoo, Michigan

SHEET TITLE
OVERALL SECOND FLOOR REFERENCE
PLAN

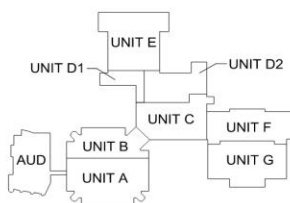
DATE
MARCH 24, 2022

SHEET NUMBER
G 102
21-806.00



OVERALL SECOND FLOOR REFERENCE PLAN
1" = 30'-0"

KALAMAZOO CENTRAL HIGH SCHOOL



KEY PLAN
SCALE: NO SCALE

GUIDELINE SCHEDULE (01 32 00)



Activity Name	Original Duration	Start	Finish
KPS - K-Central HS HVAC Installation	687	18-Oct-22 A	30-Aug-24
Project Administration	687	18-Oct-22 A	30-Aug-24
Pre-Bid Meeting	0	18-Oct-22*	
Addendum No. 1	0		25-Oct-22*
Bids Due	0		01-Nov-22*
Bids Published	0	02-Nov-22*	
KPS-TP-TSC Post-Bid Interviews	7	03-Nov-22*	11-Nov-22
TSC Recommendation to KPS	0		14-Nov-22*
KPS Board of Education to Award Contracts	0	08-Dec-22 A	
Notice to Proceed	0	09-Dec-22 A	
Material Procurement	120	09-Dec-22*	25-May-23
Submittals Due	0		31-Jan-23 A
KPS Last day of School	0	12-Jun-23*	
Owner Move Out	2	12-Jun-23*	13-Jun-23
Punch List Walkthrough Phase 1 (KPS-TP-TSC)	2	11-Aug-23*	14-Aug-23
Punch List Corrections 2023	10	15-Aug-23 A	23-Aug-23
Inspections 2023	5	15-Aug-23*	21-Aug-23
KPS Final Cleaning and Staff Move-in	5	22-Aug-23*	28-Aug-23
KPS First Day of School 2023	0		28-Aug-23 A
Closeout Submittals Due	0		01-Aug-24*
Punch List Walkthrough Phase 2 (KPS-TP-TSC)	2	08-Aug-24*	09-Aug-24
Punch List Corrections 2024	10	12-Aug-24*	23-Aug-24
Substantial Completion Date	0		26-Aug-24 A
KPS First Day of School 2024	5	26-Aug-24*	30-Aug-24
Phase 1 (Unit C & D2)	49	12-Jun-23	17-Aug-23
Pre-Demo Photos	1	12-Jun-23*	12-Jun-23
Floor Protection	2	13-Jun-23	14-Jun-23
Temp. Enclosures	2	14-Jun-23	15-Jun-23
Architectural Demo (Including salvaging ceiling grid/tile, doors, frames, casework, storefront, etc.)	10	15-Jun-23*	28-Jun-23
MEP Demo	12	15-Jun-23	30-Jun-23
Technology Testing, Documentation, Removal, and Turnover to KPS	8	16-Jun-23	27-Jun-23
MEP Rough-in	15	27-Jun-23	17-Jul-23
Aluminum Windows, Storefronts, and Entrances	20	29-Jun-23	26-Jul-23
Roofing (Framing, Penetrations, Curbs, Patching, Etc.)	15	03-Jul-23	21-Jul-23
Install new Mechanical Units and Connections	15	11-Jul-23	31-Jul-23
Rough-in Inspections	1	18-Jul-23	18-Jul-23
Electrical Finishes (Lighting, Devices, Cover Plates, Etc.)	15	19-Jul-23	08-Aug-23
Ceiling Grid and Border Tile	12	19-Jul-23	03-Aug-23
Brick Piers	5	19-Jul-23	25-Jul-23

Activity Name	Original Duration	Start	Finish
Patching and Painting	10	21-Jul-23	03-Aug-23
Reinstall Technology Devices	10	24-Jul-23	04-Aug-23
Fire Alarm Rough-In and Finishes	10	24-Jul-23	04-Aug-23
EIFS Soffit	5	25-Jul-23	31-Jul-23
Doors and Hardware	5	26-Jul-23	01-Aug-23
Instrumentation and Controls	8	27-Jul-23	07-Aug-23
Mechanical Finishes (Grills, Difusers, Registers, Etc.)	7	02-Aug-23	10-Aug-23
Install Remaining Ceiling Tiles	3	04-Aug-23	08-Aug-23
Testing, Adjusting, & Balancing	8	08-Aug-23	17-Aug-23
Phase 2 (Unit D1 & E)	47	12-Jun-24	15-Aug-24
Pre-Demo Photos	1	12-Jun-24*	12-Jun-24
Floor Protection	2	13-Jun-24	14-Jun-24
Temp. Enclosures	2	13-Jun-24	14-Jun-24
Architectural Demo (Including salvaging ceiling grid/tile, doors, frames, casework, storefront, etc.)	8	14-Jun-24*	25-Jun-24
Technology Testing, Documentation, Removal, and Turnover to KPS	5	14-Jun-24	20-Jun-24
D1 Footings and Foundations (Including Excavation and Backfill)	7	14-Jun-24	24-Jun-24
MEP Demo	8	25-Jun-24	04-Jul-24
Aluminum Windows, Storefronts, and Entrances	15	26-Jun-24	16-Jul-24
CMU and Lintels	5	27-Jun-24	03-Jul-24
Roofing (Framing, Penetrations, Curbs, Patching, Etc.)	15	05-Jul-24	25-Jul-24
MEP Rough-in	12	05-Jul-24	22-Jul-24
Install new Mechanical Units and Connections	12	19-Jul-24	05-Aug-24
Ceiling Grid and Border Tile	10	23-Jul-24	05-Aug-24
Fire Alarm Rough-In and Finishes	10	23-Jul-24	05-Aug-24
Patching and Painting	10	24-Jul-24	06-Aug-24
Rough-in Inspections	1	24-Jul-24	24-Jul-24
Electrical Finishes (Lighting, Devices, Cover Plates, Etc.)	10	25-Jul-24	07-Aug-24
Mechanical Finishes (Grills, Difusers, Registers, Etc.)	5	25-Jul-24	31-Jul-24
Reinstall Technology Devices	10	25-Jul-24	07-Aug-24
Brick Piers	5	25-Jul-24	31-Jul-24
Instrumentation and Controls	8	29-Jul-24	07-Aug-24
EIFS Soffit	5	31-Jul-24	06-Aug-24
Doors and Hardware	5	01-Aug-24	07-Aug-24
Testing, Adjusting, & Balancing	8	06-Aug-24	15-Aug-24
Install Remaining Ceiling Tile	3	06-Aug-24	08-Aug-24

MULTIPLE CONTRACT SUMMARY (01 12 00)



- Review Section 01 12 00 – Multiple Contract Summary. Review all Specification Sections that are in your Scope of Work.
- Section 1.09 - Permits
- Part 3 Execution - Schedule of Contract Responsibilities

BID CATEGORIES (01 21 00)



- Bid Category No. 1 – General Trades
- Bid Category No. 2 – Metal Studs, Acoustical Ceilings & Drywall
- Bid Category No. 3 – Aluminum Windows, Entrances, and Storefronts
- Bid Category No. 4 – Mechanical
- Bid Category No. 5 – Electrical
- Bid Category No. 6 – Controls
- Bid Category No. 7 - Technology

ALLOWANCES (01 21 00)



3.02 CONTINGENCY ALLOWANCES

Allow a lump sum additional work required but not indicated on Drawings or reasonably anticipated.

A.	Bid Category No.1	General Trades	\$10,000
B.	Bid Category No.2	Metal-Studs, Acoustical Ceilings & Drywall	\$15,000
C.	Bid Category No.3	Aluminum Windows, Entrances And Storefronts	\$5,000
D.	Bid Category No.4	Mechanical	\$10,000
E.	Bid Category No.5	Electrical	\$10,000
F.	Bid Category No.6	Controls	\$0
G.	Bid Category No.7	Technology	\$3,000

Include this in your bid.

INTSTRUCTION TO BIDDERS (00 01 00)



Review Section 00 01 00 for Instructions to Bidders

- Documents – all bid documents can be found on www.skillmanplanroom.com
- Bidders Examination and representation – be familiar with the bid docs, jobsite, other contractors, etc.
- List of major subs, suppliers, and manufacturers. 00 43 50 (48 hours)

RFI PROCESS



- Each Bidder is encouraged to contact the Architect and Construction Manager in the event that problems occur, or questions arise in analyzing the Drawings and Specifications, where additional clarification or information would be helpful in the preparation of a proper bid.
- Submit all questions in writing to Max Tackett, mtackett@skillman.com. All Requests for Information must be received before **October 27, 2022.**

BID TO AWARD TIMELINE



- Bid Tabs – Will be posted November 2, 2022, to: www.skillmanplanroom.com
- Pre-Award Conferences – Will be held between November 3, 2022 – November 11, 2022
- Board of Education - BOE approval will be December 8, 2022
- All Subcontractor and Products Lists must be submitted by: November 3, 2022.

BID FORM



- Review and fully complete the Bid Form 00 31 00
- Complete all alternates on the Bid Form that may affect your Scope of Work.
- If you have a combination bid, make sure to use separate bid forms for each bid category as well as one for the combination.

BIDDERS REMINDER LIST



YES

NO

- Reminder list of items to be completed by the contractor in bid package.

Have you properly and completely executed the Bid Form (Section 00 31 00)?		
Is the Bid Total written in both words and figures?		
Are the Alternate quantities in both words and figures and noted as Add or Deduct ?		
Is the Non-Collusion Affidavit , part of the Bid Form, signed & notarized?		
Is the Familial Disclosure Affidavit , part of the Bid Form, signed and notarized?		
Is the Iran Sanctions Act Certificate of Compliance , part of the Bid Form, signed and notarized?		
Have you enclosed a certified check or Bid Bond ? (Note: bond must be signed by Surety and Principal)		
Have you completed the Schedule of Wages , Section 00 37 00 and included it with your bid form?		
Have you included your company's Financial Statement ?		
On the outside of the envelope containing your Bid have you indicated: The Project Name Bidder's Name Bid Category No. Date and Time of Bid Opening Owner's Address Address to Where Bid is to be Delivered if different from Owners Address		

BID OPENING



- **Date: November 1, 2022**
- **Bids Due: 2:00 PM (Local Time)**
- **Bids Opened: 02:05 PM (Local Time)**
- **Online: Refer to Notice to Bidders (00 02 00) for link to join bid opening virtually or call in.**
- **In Person Location: Community Education Center**
600 W. Vine Street Kalamazoo, MI 49008
Room 130

Questions?



COMING SOON:

-Loy Norrix High School

- GT, Metal Studs, Mech, Electrical, & Controls
- Bid Documents available November 28, 2022.
 - Pre-Bid December 8, 2022.
 - Bids Due December 22, 2022