

**Kalamazoo Public Schools**

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**Loy Norrix High School**

**Health Suite**

**PRE-BID MEETING**

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**April 2, 2024**

# PRE-BID MEETING



Loy Norrix High School Health Suite  
606 East Kilgore Road  
Kalamazoo, MI 49001

# OWNER



## Kalamazoo Public Schools

- **Karen Jackson - Executive Supervisor,  
Facilities Management**

Kalamazoo Public Schools

Every child. Every opportunity. Every time.



TowerPinkster

- Mike Galovan, Senior Project Manager  
[mgalovan@towerpinkster.com](mailto:mgalovan@towerpinkster.com)  
269-492-6763

**TowerPinkster**  
Architecture · Engineering · Interiors



# THE SKILLMAN TEAM



## ACCOUNT EXECUTIVE

- Michael Kounelis
- 269-207-3049
- [mkounelis@skillman.com](mailto:mkounelis@skillman.com)

## PROJECT MANAGER

- Max Tackett
- 269-207-3049
- [mtackett@skillman.com](mailto:mtackett@skillman.com)

## PROJECT ENGINEER

- Will Karnes
- 269-908-9684
- [wkarnes@skillman.com](mailto:wkarnes@skillman.com)

## SITE MANAGER

- TBD

## ADMIN. ASSISTANT

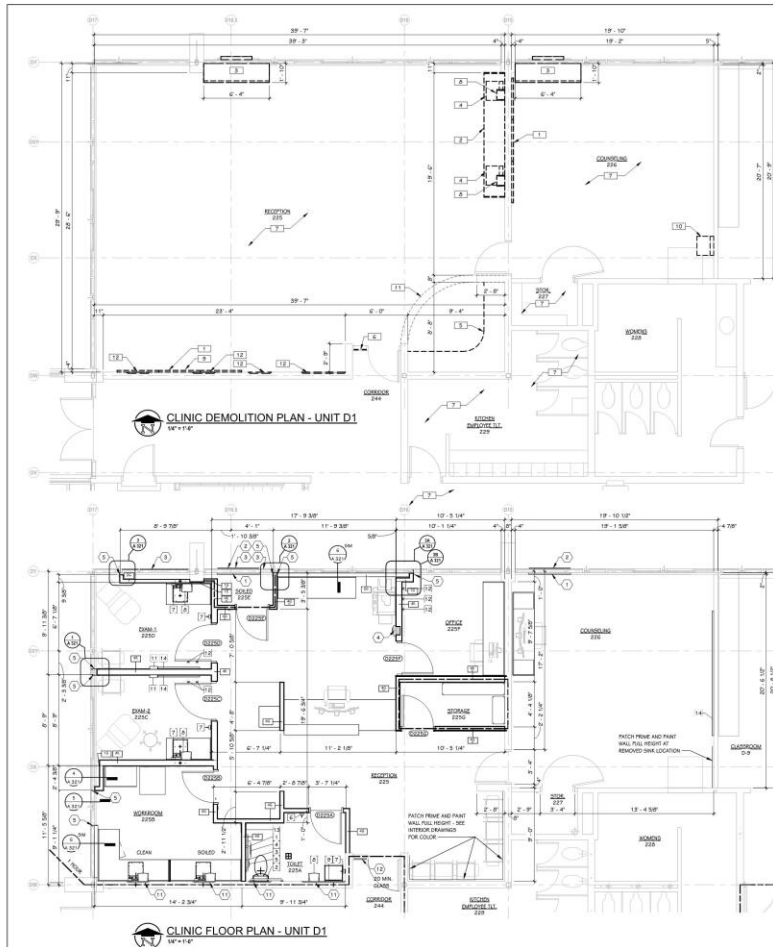
- Caralee Sokolowski
- 269-350-5757
- [csokolowski@skillman.com](mailto:csokolowski@skillman.com)

# SCOPE OF WORK

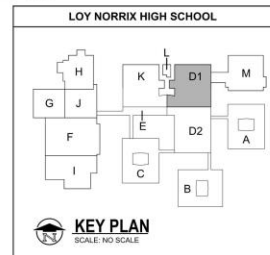
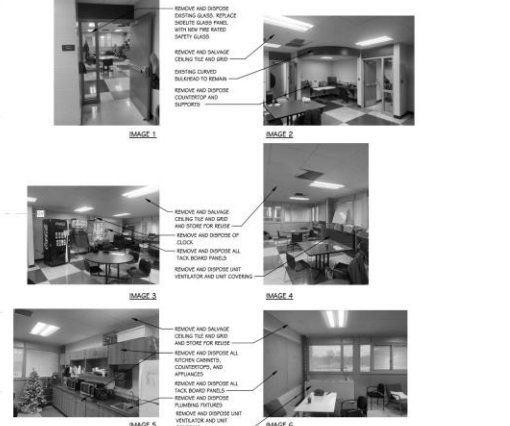


- Remodeling of 1,711 SF of interior office area into a Health Clinic.
- Refer to sheet A101A for demolition and floor plan key notes. New metal stud, insulated, drywall walls/partitions, new casework, new accessories, grab bars, dispensers, markerboards, etc...Ceiling grid and tile assembly is remove and reinstall.
- Select roofing removal for (1) new RTU, select plumbing demo and new plumbing work, and select electrical demo and new power and lighting, connecting to existing panels.
- Construction work to commence mid-June and be complete by the end of August.

# FLOOR PLANS / SITE PLANS



KEYED NOTES - DEMOLITION	KEYED NOTES - NEW CONSTRUCTION	KEYED NOTES - ACCESSORIES
<ol style="list-style-type: none"> <li>1. REMOVE ALL TGA BOARD PANELS. PATCH AND PREP SURFACES FOR NEW FINISHES. COORDINATE WITH NEW CONSTRUCTION.</li> <li>2. REMOVE CARPENTRY AND COUNTERTOP. PATCH AND PREP SURFACES FOR NEW FINISHES. COORDINATE WITH NEW CONSTRUCTION.</li> <li>3. REMOVE ALL UNIT VENTILATOR AND VENTILATOR COVER. PREP FLOOR SURFACE FOR NEW FINISH.</li> <li>4. REMOVE EXIST. SEE ARCH. DRAWINGS FOR MORE INFORMATION.</li> <li>5. REMOVE EXISTING COUNTERTOP.</li> <li>6. REMOVE AND DISPOSE EXISTING WIRE GLASS PANEL FROM EXISTING RECEPTION FRAME.</li> <li>7. REMOVE AND SALVAGE ACoustICAL CEILING TIE INS AND GRID SYSTEM. PROTECT AND BRACE FOR REINTEGRATION. SEE ALSO CEILING PLAN FOR SCOPE.</li> <li>8. REMOVE AND DISPOSE PAPER TONGUE SUPPORTS.</li> <li>9. REMOVE AND DISPOSE OF CLOAK.</li> <li>10. REMOVE EXIST. SEE ARCH. DRAWINGS FOR MORE INFORMATION. PATCH AND PREP SURFACES FOR NEW FINISH.</li> <li>11. BALANCE TO EXIST. PATCH AND RETAIL. PREP SURFACES FOR NEW FINISH.</li> <li>12. REMOVE ONE FACE SHELL FULL HEIGHT FOR PROPOSED PLUMBING. PREP AND ALLOW FOR KEY-IN OF NEW ONE FACE SHELL.</li> </ol>	<ol style="list-style-type: none"> <li>1. INSTALL NEW PRIME AND PAINTED WOOD TRIM AT FLOOR TO CEILING EXTERIOR - SEE DETAILS.</li> <li>2. INSTALL NEW INSULATED METAL PANELS WHERE UNIT VENT AND REMOVED. VERIFY LISTING.</li> <li>3. INSTALL NEW SPANDREL GLASS.</li> <li>4. PREP INTERIOR CLOSET.</li> <li>5. INSTALL ALUMINUM TRIM WITH GORET - SEE DETAILS. BODY OF CLOSET WALL COVER.</li> <li>6. REINSTALL SALVAGED ACoustICAL CEILING SYSTEM. PATCH AND RETAIL BUILDING - REFER TO ARCHITECT FOR FINISH INFORMATION.</li> <li>7. FULL REFER TO EXISTING DRAWINGS. SEE TYPICAL FULL AND ROOF OPENING DETAILS ON DRAWING A-301.</li> <li>8. REMOVE AND REPLACE ROOF EXTERIOR. INSULATION, AND DECK AS NECESSARY FOR ROOF RESTORATION. COORDINATE WITH MECHANICAL DRAWING.</li> <li>9. CONTINGUOUS 1" ALUMINUM TRIM ALONG CEILING EDGE OF CARPENTRY. 1" x 1" ALL CEILING EDGE AT CURVILINEAR LOCATIONS. COLOR TO MATCH EXISTING LATH CEILING TRIMING. BRACE OF DESIGN. ANCHORING AS NOTED.</li> <li>10. NEW ONE FACE SHELL FULL HEIGHT FOR PROPOSED PLUMBING. KEY IN NEW ONE FACE SHELLS ALL SIDES. PRIME AND PAINT. SEE EXTERIOR DRAWINGS FOR COLOR.</li> <li>11. INSTALL PRIME RATED SAFETY GLASS IN EXISTING PANEL.</li> </ol>	<ol style="list-style-type: none"> <li>1. 1" VERTICAL STAINLESS STEEL GRAB BAR (C)</li> <li>2. 1" STAINLESS STEEL GRAB BAR (C)</li> <li>3. 1" STAINLESS STEEL GRAB BAR (C)</li> <li>4. TOLLY PAPER DOORSTOP (C)</li> <li>5. TOLLY PAPER DOORSTOP (C)</li> <li>6. HAND SHOWER (C)</li> <li>7. SHOWER DOORSTOP (C)</li> <li>8. PAPER TONGUE RECEPTOR (C)</li> <li>9. BRASS/STAINLESS STEEL PAPER MIRROR (C)</li> <li>10. GLASS ROOF HOLDER (C)</li> <li>11. GLASS ROOF HOLDER (C)</li> <li>12. GLASS ROOF HOLDER (C)</li> <li>13. SPECIAL PANEL THROUGH (C)</li> <li>14. HANDBAR (C)</li> </ol>



**TowerPinkster**  
Architecture - Engineering - Interiors

PROJECT TITLE: LOY NORRIS HIGH SCHOOL HEALTH SUITE

OWNER: KALAMAZOO PUBLIC SCHOOLS

DATE: MARCH 8, 2024

SHEET NUMBER: A 101A

DATE: 23-01-20

ISSUED FOR: DATE:

CLINIC DEMOLITION PLAN AND FLOOR PLAN

# **MULTIPLE CONTRACT SUMMARY**



**Review Section 01 12 00 – Multiple Contract Summary.  
Review all Specification Sections that are in your Scope  
of Work.**

- **1.05 Prime Contractors Use of Premises**
- **1.07 Occupancy Requirements, A. Full Owner Occupancy**
- **1.09 Permits, Fees and Notices**
- **1.10 Labor and Materials. A, B, & C**
- **1.14 Schedules of Contract Responsibilities-Scope**
- **1.16 Time of Commencement and Completion**

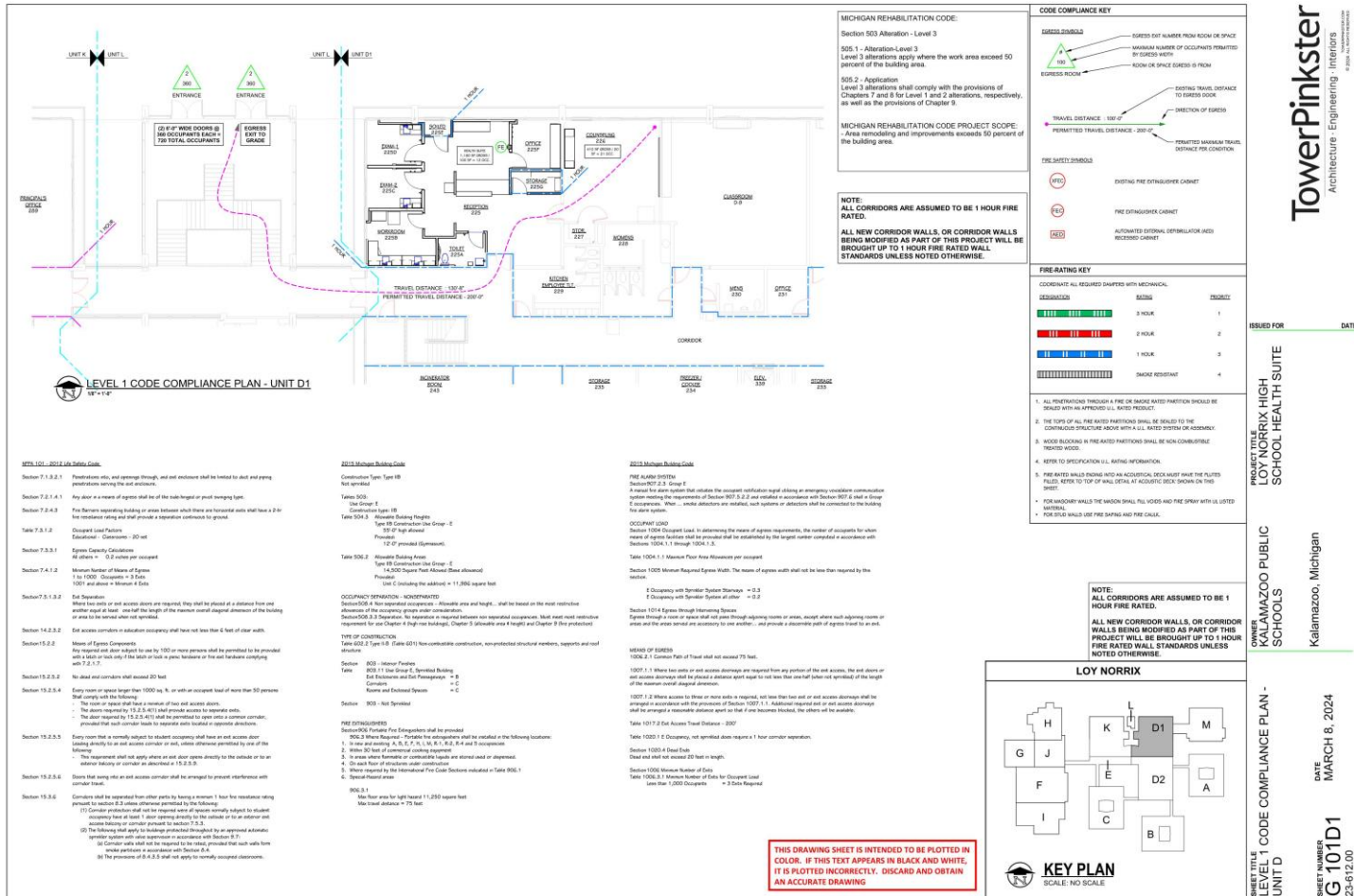


# BID CATEGORIES



BID CATEGORY NO. 1	General Trades
BID CATEGORY NO. 2	Mechanical
BID CATEGORY NO. 3	Electrical

# SITE LOGISTICS PLAN





## **REQUIRED FOR EVERY CONTRACTOR**

- **No subscription is required**
- **Current set of documents**
- **Issues tracking**
  - Safety
  - QA/QC
  - Noncompliance
  - Work Completion List
  - Punch List
- **As-built record drawings**

# ANTICIPATED CHALLENGES



- CM will procure required Building Permit, any other permits are by Contractors.
- Field verifications of existing conditions.
- Expedite any required submittals, and release material for timely delivery and installation.
- Select Arch., Plumbing, Mechanical & Electrical demolition
- Protection to existing finishes
- Safety
- Complete all construction work by the end of August and close out project by end of September, 2024.

# AREAS OF COORDINATION

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- Ceiling grid and tile removal.
- Interior wall layout.
- Plumbing disconnects and tie-in to existing system.
- Roofing and deck removal for RTU-1D.
- Mechanical ductwork runs and connections.



# ALTERNATES



**Review Section 01 23 00 for Alternates that may alter your Scope of Work.**

- **No Alternates, at this time.**

# ALLOWANCES



**Review Section 01 21 00 for Allowances that apply to your Scope of Work.**

**Bid Category 01 General Trades: \$5,000.00**

**Bid Category 02 Mechanical: \$5,000.00**

**Bid Category 03 Electrical: \$5,000.00**

**Include Allowance amounts in your Base Bid**

# INSTRUCTIONS TO BIDDERS



**Review Section 00 10 00 for Instructions to Bidders.**

- **1.02 Bidders Examination & Representation**
- **1.10 Bidding Procedures, (R.) Sales Tax (include in bid)**
- **1.15 Determination of Lowest Responsible & Responsive Bid**
- **1.17 Execution of The Contract**
- **1.19 Wage Rates-NOT APPLICABLE.**

# RFI PROCESS



Each Bidder is encouraged to contact the Architect and Construction Manager if problems occur or questions arise in analyzing the Drawings and Specifications, where additional clarification or information would be helpful in the preparation of a proper bid.

Submit all questions in writing to: Max Tackett  
[mtackett@skillman.com](mailto:mtackett@skillman.com)

All RFIs must be received before: **April 11, 2024, by 4:00pm**

# SUBSTITUTION REQUESTS



Prior to receipt of bids, the Architect will consider proposals for substitution of materials, equipment, and methods only when such proposals are submitted in writing within the time period stated before the date and time set for receipt bids, and are accompanied by full and complete technical data and other information required by the Architect to evaluate the proposed substitution.

Request for product approval shall be submitted on the Substitution Request Form and sent to: Mike Galovan

[mgalovan@towerpinkster.com](mailto:mgalovan@towerpinkster.com)



# CONSTRUCTION TIMELINE



**Review Section 01 32 00 – Schedules & Reports.**

**Anticipated Construction Start Date: June 17, 2024**

**Anticipated Construction**

**Completion Date: August 30, 2024**

# BID TO AWARD TIMELINE



- Bid Tab posted: **April 19, 2024**
- Pre-Award Conferences: **April 22 ... April 24, 2024**
- Notice To Proceed: **May 10, 2024**

**All Subcontractor & Products Lists**

**must be submitted by: Within 48 hours of bid opening**

# BID FORM



**Review and fully complete the Bid Form 00 31 00**

**Complete all alternates on the Bid Form that may affect your Scope of Work.**

# BIDDERS' REMINDER LIST



	YES	NO
Have you properly and completely executed the <b>Bid Form</b> (Section 00 31 00)?		
Is the <b>Bid Total</b> written in both words and figures?		
Are the <b>Alternate</b> quantities in both words and figures and noted as <b>Add or Deduct</b> ?		
Is the <b>Non-Collusion Affidavit</b> , part of the Bid Form, signed, & notarized?		
Is the <b>Familial Disclosure Affidavit</b> , part of the Bid Form, signed and notarized?		
Is the <b>Iran Sanctions Act Certificate of Compliance</b> , part of the Bid Form, signed and notarized?		
Have you enclosed a certified check or <b>Bid Bond</b> ? (Note: bond must be signed by Surety and Principal)		
Have you included your company's <b>Financial Statement</b> ?		
On the outside of the envelope containing your Bid have you indicated: <b>The Project Name</b> <b>Bidder's Name</b> <b>Bid Category No.</b> <b>Date and Time of Bid Opening</b> <b>Owner's Address</b> Address to Where Bid is to be Delivered if different from Owner's Address		

**IF ANY OF THE REQUIRED BIDDING DOCUMENTS ARE NOT INCLUDED,  
DATED, OR PROPERLY EXECUTED, THE CONTRACTOR'S BID MAY NOT BE ACCEPTED.**

# CONSTRUCTION DOCUMENTS



**Construction Documents are available at:**  
**[www.skillmanplanroom.com](http://www.skillmanplanroom.com)**

**Bidding Contractors are required to pay for printed Documents. The electronic files are available at no cost.**



# PRE-AWARD INTERVIEWS

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- **Date & Time TBD**
- **Bid Cat 01: General Trades**
- **Date & Time TBD**
- **Bid Cat 02: Mechanical**
- **Date & Time TBD**
- **Bid Cat 03: Electrical**

# BID OPENING



**Date: April 18, 2024**

**Time: 2:00 PM**

**Location: Kalamazoo Public School Facilities Office  
600 West Vine Street  
Kalamazoo, MI 49008**



# LOY NORRIX HIGH SCHOOL HEALTH SUITE

## KALAMAZOO PUBLIC SCHOOLS

### Kalamazoo, Michigan

#### CONSTRUCTION DOCUMENTS

#### DESIGN TEAM

**ARCHITECT/ENGINEER**  
**TowerPinkster**  
 Architecture · Engineering · Interiors

342 E KALAMAZOO AVE, SUITE 200  
 KALAMAZOO, MICHIGAN 49007  
 PHONE: 269.343.6133  
 FAX: 269.343.6633

#### REFERENCE CODES

BUILDING: 2015 MICHIGAN BUILDING CODE AND 2012 NFPA 101 LIFE SAFETY CODE  
 BUILDING: 2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS  
 ENERGY: 2015 MICHIGAN ENERGY CODE  
 PLUMBING: 2021 MICHIGAN PLUMBING CODE  
 MECHANICAL: 2021 MICHIGAN MECHANICAL CODE  
 FUEL GAS: (IFGC) 2015 INTERNATIONAL FUEL GAS CODE  
 ELECTRICAL: 2023 NATIONAL ELECTRICAL CODE WITH MICHIGAN AMENDMENTS  
 BARRIER-FREE: 2015 MICHIGAN BUILDING CODE AND 2009 ICC & C.A.117.1  
 USE GROUP: E  
 CONSTRUCTION TYPE: II  
 AUTOMATIC SPRINKLERS: PARTIALLY SPRINKLED

#### PROJECT AREA

EXISTING LOWER FLOOR: 150,676 SQ. FT.  
 EXISTING 1ST FLOOR: 217,760 SQ. FT.  
 TOTAL SQ. FT.: 368,436 SQ. FT.

RENOVATION AREA SUMMARY:  
 TOTAL RENOVATION SF. FT.: 1,711 SQ. FT.  
 TOTAL UNMODIFIED BUILDING AREA: 366,725 SQ. FT.  
 TOTAL SQ. FT.: 368,436 SQ. FT.



HEALTH SUITE - 3D VIEW

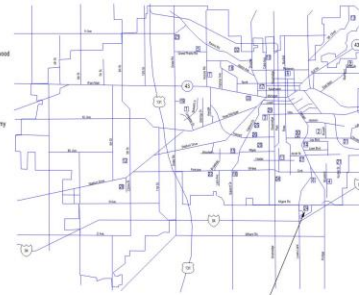
#### DISTRICT MAP

**Elementary Schools**  
 1. Acadia  
 2. Echo Environmental Science Academy  
 3. El Sol  
 4. Greenwood  
 5. Indian Prairie  
 6. Lincoln International Studies School  
 7. Lloyd Luther King Jr. in Westland  
 8. Millwood  
 9. Northwood  
 10. Northwood Montessori Magnet School  
 11. Parkview-Uptown  
 12. Prairie Ridge  
 13. Spring Valley Center for Education  
 14. Washington-Windward Academy  
 15. Westwood  
 16. Woods Lake - A Magnet Center for the Arts  
 17. Woodward School for Technology and Research

**Middle Schools**  
 18. Willow  
 19. Linden Drive  
 20. Miller Street Magnet School for the Arts  
 21. Millwood Magnet School A Center for Math, Science, and Technology  
 22. O'Connell's Alternative Learning Program

**High Schools**  
 23. Kalamazoo Central  
 24. Loy Norrix  
 25. Phoenix

**Facilities and Programs**  
 26. Administration Building  
 27. Asad Street Business Center  
 28. O'Brien  
 29. Community Education Center  
 30. Lake Street Barn  
 31. Leeward  
 32. Transportation  
 33. Westside School  
 34. South Westside School



LOY NORRIX HIGH SCHOOL  
 406 EAST KALAMAZOO RD.  
 KALAMAZOO, MI 49001



KALAMAZOO PUBLIC SCHOOLS DISTRICT MAP  
 SCALE: NONE

#### CONSTRUCTION MANAGER



8120 MOORSBRIDGE RD  
 KALAMAZOO, MICHIGAN 49004  
 PHONE: 269.655.3757

#### SITE ADDRESS

KALAMAZOO PUBLIC SCHOOLS  
 LOY NORRIX HIGH SCHOOL  
 606 EAST KILGORE ROAD  
 KALAMAZOO, MI 49001

ISSUED FOR \_\_\_\_\_ DATE \_\_\_\_\_

PROJECT TITLE  
 LOY NORRIX HIGH SCHOOL HEALTH SUITE

OWNER  
 KALAMAZOO PUBLIC SCHOOLS

Kalamazoo, Michigan

DATE  
 MARCH 8, 2024

SHEET TITLE  
 COVER SHEET

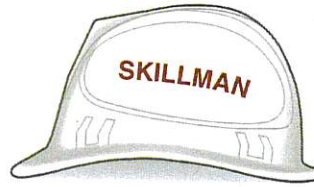
SHEET NUMBER  
 G-001  
 23-912.00

**TowerPinkster**  
 Architecture · Engineering · Interiors

# 2024-0000000000000000

**TowerPinkster**  
 Architecture · Engineering · Interiors

KPS Loy Norrix High School  
Health Suite



DATE: April 2, 2024

TSC PROJECT NO.: 218020.42

## PRE-BID MEETING SIGN-IN SHEET

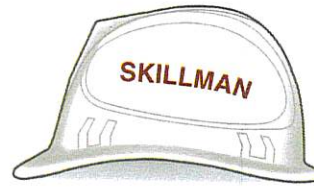
COMPANY REPRESENTED	ATTENDEE NAME	EMAIL ADDRESS	PHONE NUMBER
KALAMAZOO PUBLIC SCHOOLS	Karen Jackson		
KALAMAZOO PUBLIC SCHOOLS			
THE SKILLMAN CORPORATION	Mike Kounelis	mjkounelis@skillman.com	269-207-3049
THE SKILLMAN CORPORATION	Will Karnes	wkarnes@skillman.com	269-908-9684
TOWERPINKSTER			
TOWERPINKSTER			
Jergens Piping	Brian Lemmer	brianlemmer@jergenspiping.com	269-506-0807
Circuit Electric	Andrew Clemens	Andrew.Clemens@circuitelectric.com	269-366-9131

Martell Electric  
~~Ross~~ ~~Schedin~~ Martell Electric

Shane Allen  
Ross Schedin

SAllen@martellelectric.com 269-365-2288  
rschedin@martellelectric.com 574-943-5890

KPS Loy Norrix High School  
Health Suite



DATE: April 2, 2024

TSC PROJECT NO.: 218020.42

## PRE-BID MEETING SIGN-IN SHEET

COMPANY REPRESENTED	ATTENDEE NAME	EMAIL ADDRESS	PHONE NUMBER
Hockstra Roofing	Dale Roach	dale@hockstraroofing.com	269-988-1463
JERGENS	DAVE SPONABCE	DSPONABCE@JERGENS PIPING.COM	(269) 806-6522
KMI	Carson Cornish	carson@kalamazoo mechanical.com	269-343-5357
	Brian Holwerda		