

**ADDENDUM
NO. 3**

February 21, 2025

**TRI-COUNTY SCHOOL CORPORATION – JR-SR HIGH SCHOOL
ADDITION AND RENOVATIONS
Wolcott, IN 47995**

TO: ALL BIDDERS OF RECORD

This Addendum forms a part of and modifies the Bidding Requirements, Contract Forms, Contract Conditions, the Specifications, and the Drawings dated December 20, 2024, by Gibraltar Design. Acknowledge receipt of the Addendum in the space provided on the Bid Form. Failure to do so may subject the Bidder to disqualification.

This Addendum consists of Page ADD 3-1, and attached Addendum No. 3 from Gibraltar Design dated February 21, 2025, consisting of 2 pages, and 4 drawings.

ADDENDUM THREE

Addendum Three (AD.03) to the drawings and specifications prepared by Gibraltar Design for **Tri-County Jr/Sr High School Additions and Renovations** for Tri-County School Corporation, Wolcott, Indiana.

All Contractors bidding on this project shall read all of the items covered below and shall comply with all of the requirements as set forth, including any necessary refinements or additions generated by this Addendum and required by the intent of the original contract documents. All Contractors shall acknowledge on their bid form that they have received this Addendum, Addendum One and Addendum Two, and include the appropriate content of same within their bid proposal.

SPECIFICATIONS

1. Specification Section 08 36 13 Overhead Sectional Doors

A. Add new Paragraph 2.1.D to read as follows:

D. Clopay Corporation, Mason, Ohio: Insulated Flush Steel; Clopay Model 3722

2. Specification Section 09 91 00 Painting

Add new Paragraph 3.13.H to read as follows:

H.

Electrostatic Paint Finish – Existing Locker Room Lockers; Existing Metal Enclosures	
	Clean and sand existing surfaces to be finished. Apply two component epoxy coating using Ransburg electrostatic catalyzed process, installed in strict accordance with the manufacturer's specifications. Do not refinish the interior surfaces of lockers.
S-W	Pro Industrial High-Performance Epoxy, B67W00200/B67V00200 Series.

3. Specification Section 10 26 00 Wall Protection

A. Revise Paragraph 2.3 Corner Guards as follows:

A. Surface-Mounted, Vinyl Corner Guards: Assembly consisting of Factory Applied tape; fabricated with 90-degree turn to match wall condition.

1. Cover: One-piece Vinyl, chemical and stain-resistant unplasticized polyvinyl chloride (uPVC), minimum 0.080-inch wall thickness.
 - a. Profile: Nominal 1 1/2-inch-long leg.
 - b. Height: Full height, 4 inches above finish floor to ceiling.
 - c. Color:
 - A. CG1 As selected by Architect from manufacturer's full range of choices.
 - B. CG2 As selected by Architect from manufacturer's full range of choices.



2. Attachment: Factory Applied double faced foam tape.

DRAWINGS

Refer to Revised Full-Size Drawings included in this Addendum for revisions (unless noted that no drawing is attached).

1. **Sheet AD101-103 (Drawings not attached)**

- A. Remove notes 15, 16, 18, and 27 from the scope of work.

2. **Sheet A-104**

- A. Add additional section cuts to floor plan and North Elevation.

3. **Sheet A-201**

- A. Add roof type "C" and replace roof type "A" to "C" for select locations on roof plan.

4. **Sheet A-401 (Drawing not attached)**

- A. Add note on section 2, 3, and 4 "New roof membrane, refer to roof plan."

5. **Sheet A-402**

- A. Add sections 4 and 5 and reorganize sheet.

6. **Sheet A-403**

- A. Revise section 1 to increase the roof eave height to match elevations.

7. **Sheet A-801-803 (Drawings not attached)**

- A. Remove notes 8 and 9 from the scope of work.

8. **Sheet E-701 (Drawing not attached)**

- A. Delete (Alternate Bid) from Plan Note 3. This work is Base Bid.

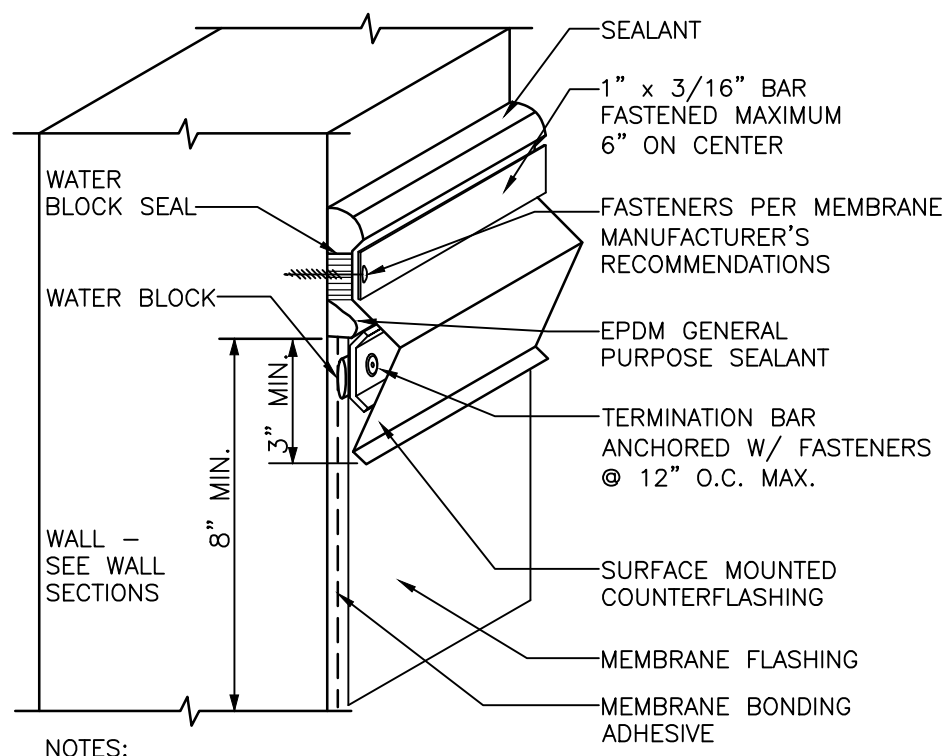
Pages 1 through 2, inclusive, and Three (3) Full-Size Drawings, constitute the total makeup of **Addendum Three**.



Joseph P. Briggs

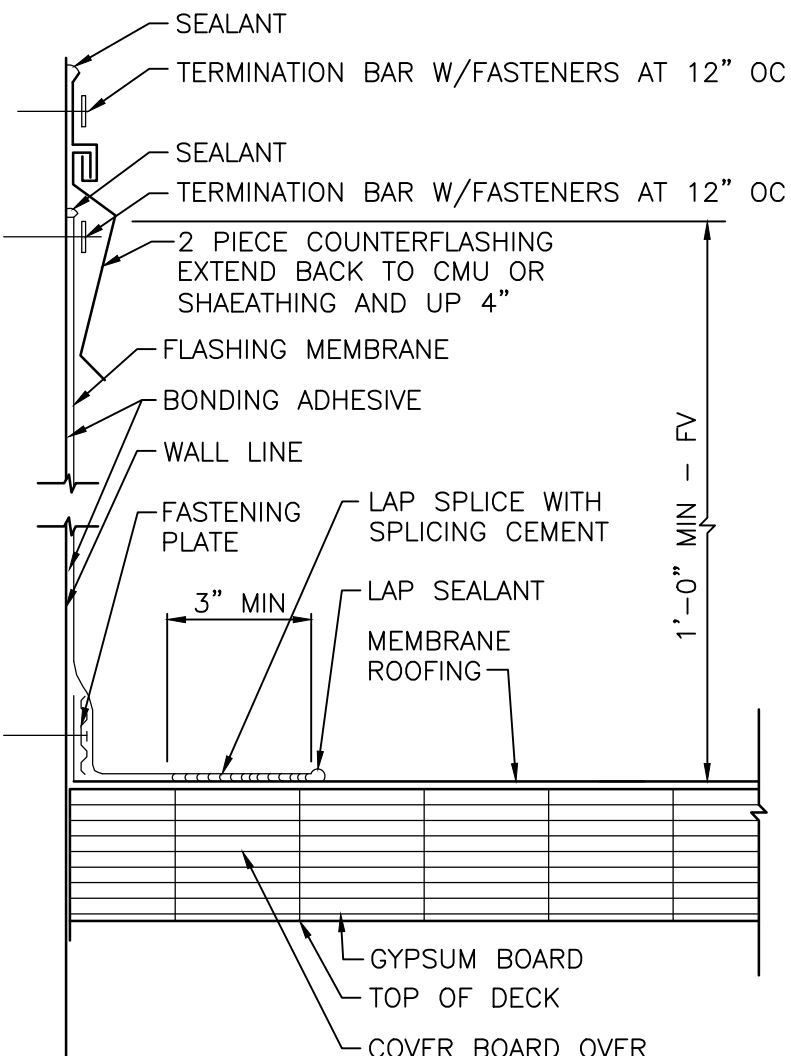
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ADDITION AND RENOVATIONS\24-120 DRAWINGS\05
ARCH\A-201.DWG



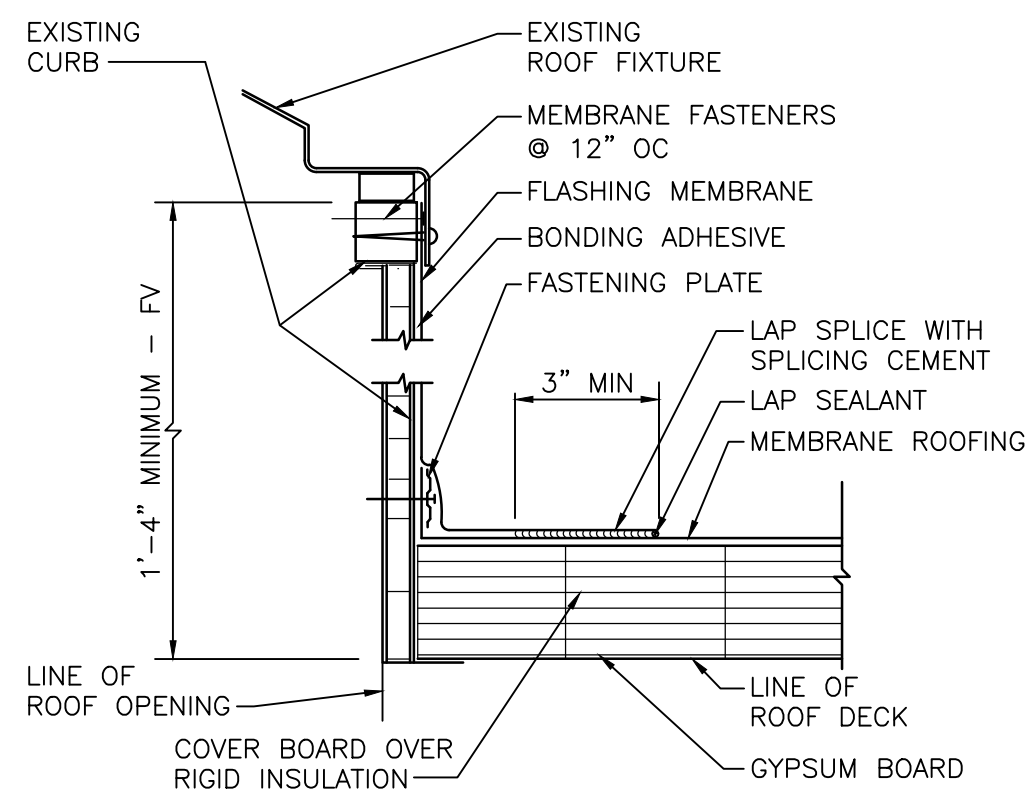
COUNTER FLASHING
SCALE: 3" = 1'-0"

5
A-201



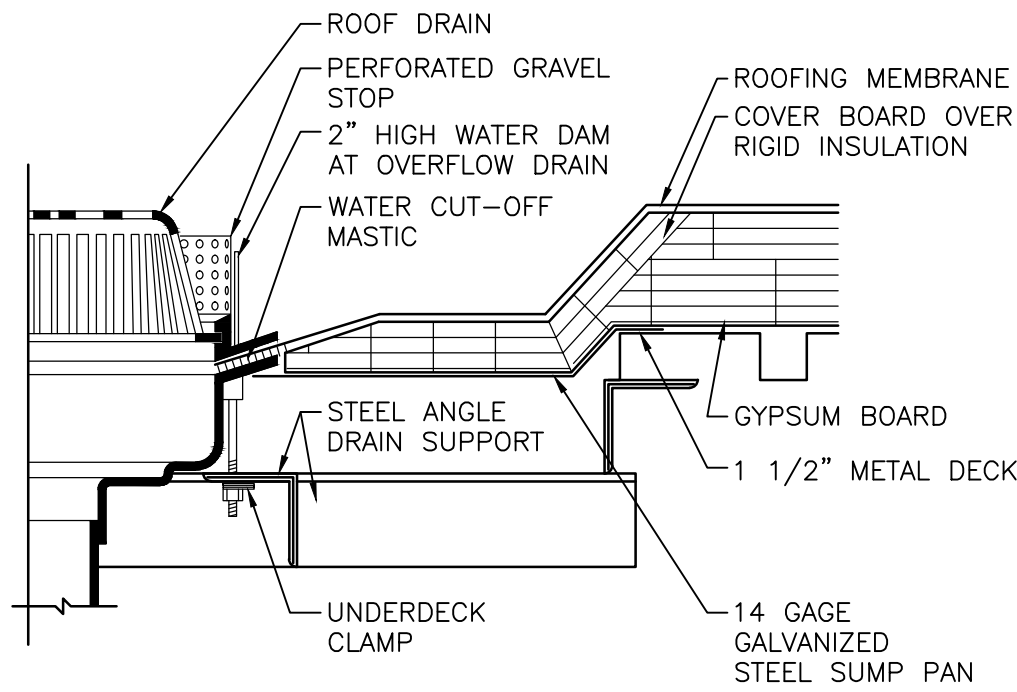
ROOF FLASHING
SCALE: 3" = 1'-0"

4
A-201



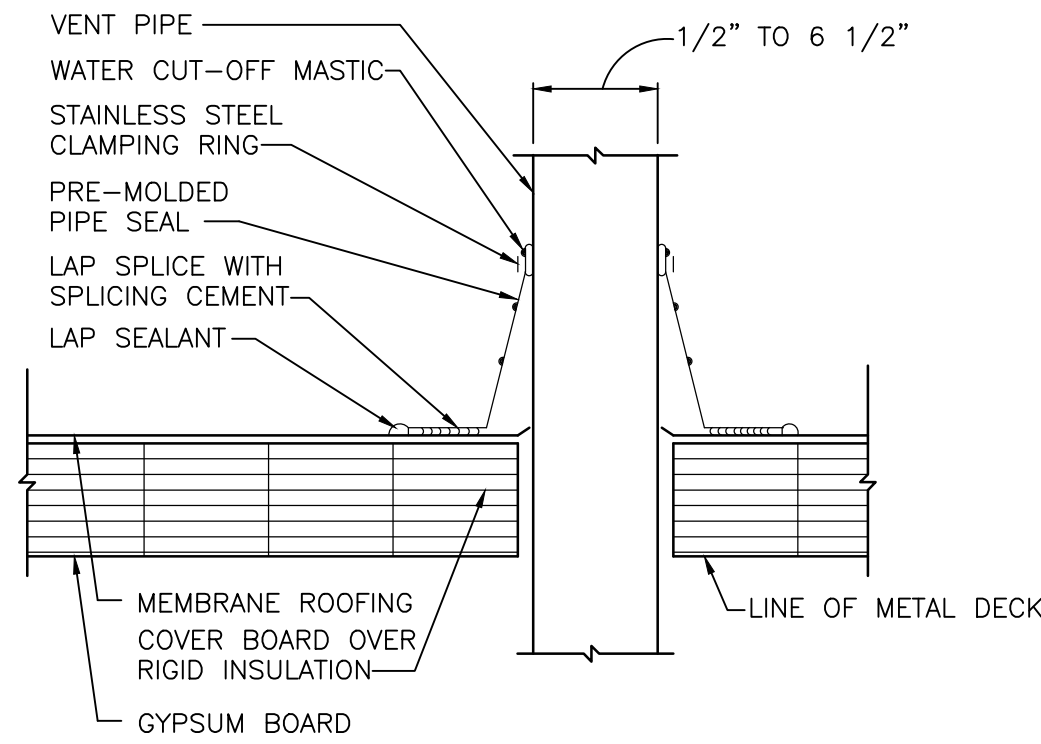
CURB FLASHING
SCALE: 3" = 1'-0"

3
A-201



OVERFLOW DRAIN
SCALE: 3" = 1'-0"

2
A-201



VENT FLASHING
SCALE: 3" = 1'-0"

1
A-201

GENERAL ROOF PLAN NOTES:

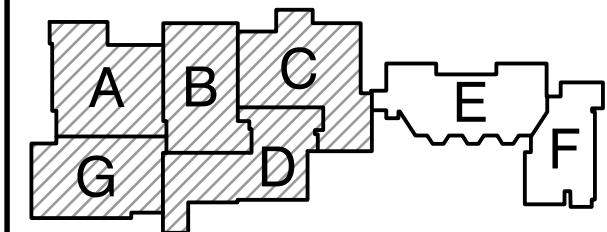
- FOR GENERAL NOTES, MATERIAL INDICATIONS LEGEND, SYMBOL LEGEND, ABBREVIATIONS, ETC. SEE SHEET 0-301.
- THERE MAY BE LOCATIONS ON NEW AND/OR EXISTING ROOF WHERE THE ROOF DECK MAY NOT BE STRUCTURALLY SOUND. CONTRACTORS SHOULD USE EXTREME CAUTION IN WORKING THESE ROOF AREAS TO MAINTAIN SAFE WORKING CONDITIONS.
- THE ROOFING INSTALLER SHALL VERIFY ALL DIMENSIONS, CLEARANCES AND ALL EXISTING FIELD CONDITIONS BEFORE STARTING CONSTRUCTION. COMMENCEMENT OF WORK CONSTITUTES ACCEPTANCE OF CONDITIONS. SHOULD DIFFERENT CONDITIONS BE ENCOUNTERED, CONTACT THE ARCHITECT BEFORE PROCEEDING WITH WORK.
- THE ROOFING INSTALLER SHALL BE RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF ALL DAMAGE CAUSED BY THE IMPROPER STORAGE OR STACKING OF ROOFING MATERIALS.
- ALL DIMENSIONS INDICATED ON THE ROOF PLAN ARE APPROXIMATE. THE ROOFING INSTALLER IS RESPONSIBLE FOR OBTAINING ACCURATE FIELD MEASUREMENTS FOR THE EXECUTION OF HIS WORK AND PRIOR TO ANY FABRICATION OF THE VARIOUS MATERIALS.
- THE ROOFING INSTALLER SHALL PROTECT ALL ROOF DRAINS, SCUPPERS AND DOWNSPOUTS FROM DEBRIS CREATED DURING DEMOLITION AND/OR NEW CONSTRUCTION. THE ROOFING INSTALLER SHALL INSPECT AND CLEAR ALL DRAINS, SCUPPERS AND DOWNSPOUTS PRIOR TO COMPLETION OF WORK AND TO ENSURE THAT THEY ARE FREE OF DEBRIS AND ARE FUNCTIONING PROPERLY.
- ROOF DRAIN LOCATION INDICATE DESIGN INTENT. COORDINATE LOCATIONS WITH STRUCTURAL AND MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS AND TRADES.
- FOR LOCATION AND QUANTITY OF ALL ROOFTOP MECHANICAL EQUIPMENT, REFER TO MECHANICAL DRAWINGS.
- FOR LOCATION OF ALL NEW AND/OR EXISTING PLUMBING VENTS, REFER TO MECHANICAL ROOF PLANS.
- EXTEND ALL PLUMBING VENTS SO THAT THE TOP IS A MINIMUM OF 12" ABOVE THE ROOFING MEMBRANE.
- PROVIDE NEW FLASHING AND TWO PIECE COUNTER-FLASHING WHERE NEW ROOFING ABUTS A NEW OR EXISTING WALL, UNLESS OTHERWISE NOTED OR DETAILED.
- PROVIDE FLASHING AND SADDLES FOR ALL EQUIPMENT PROVIDED UNDER MECHANICAL.
- PROVIDE FLASHING OF ALL VENTS, FAN CURBS, MASONRY WALLS, FLUES, DRAINS, FASCIA'S, ETC. IN ACCORDANCE WITH THESE DRAWINGS AND SPECIFICATIONS, AND WITH ROOFING MANUFACTURERS STANDARD DETAILS AND SPECIFICATIONS.
- CONTRACTOR TO PROVIDE CRICKETS AND/OR ROOF SADDLES AS REQUIRED TO PROMOTE POSITIVE DRAINAGE AROUND ALL ROOF TOP PENETRATIONS.
- SADDLES AND TAPERED INSULATION SYMBOLS INDICATE DESIGN INTENT TO SLOPES TO DRAIN. ROOFING INSTALLER SHALL PROVIDE SUBMITTAL DRAWINGS FOR TAPERED INSULATION AND SADDLES TO ENSURE POSITIVE SLOPE.
- ALL NEW WOOD BLOCKING AND NAILERS SHALL BE FIRE/MOISTURE TREATED WOOD.
- ANCHOR ALL ROOFING EDGE WOOD BLOCKING AND STRUCTURAL INSULATED SHEATHING FOR COPINGS, FASCIA, AND EXPANSION JOINT COMPRESSIBLE TUBES AS REQUIRED TO CONFORM TO STATE AND LOCAL CODES.
- REFER TO ARCHITECTURAL FLOOR PLAN FOR LOCATION OF SECTION CUTS FOR ADDITIONAL INFORMATION.
- REMOVE ALL ROOF GRAVEL, RESIDUE, AND ALL PROJECTIONS WHICH WOULD PREVENT THE NEW ROOF INSULATION FROM LAYING FLAT OVER THE ROOF SURFACES.
- AT ALL NEW ROOF DRAINS AND/OR EXISTING ROOF DRAINS AT AREAS TO BE RE-ROOFED, REMOVE AND CLEAN ROOF DRAIN STRAINERS AND CLAMP RINGS. REINSTALL AFTER NEW ROOF INSULATION AND ROOFING MEMBRANE ARE IN PLACE. ANY BROKEN OR MISSING ROOF DRAIN STRAINER SHALL BE REPLACED WITH A NEW STRAINER.
- SEE MECHANICAL DRAWINGS FOR LOCATIONS OF ROOF TOP EQUIPMENT TO BE REMOVED.
- ALL ROOF SADDLE SLOPES SHALL BE 1/2" PER 12".
- DEMOLITION AND REMOVAL OPERATIONS ARE TO BE PERFORMED CAREFULLY AND ALL PORTIONS OF THE BUILDING SHALL BE PROTECTED DURING THESE OPERATIONS. ITEMS TO BE REUSED AND REINSTALLED ARE TO BE CAREFULLY REMOVED AND STORED. DAMAGES INCURRED DURING REMOVAL OR STORAGE SHALL BE THE CONTRACTOR'S RESPONSIBILITY.



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PROJECT

**TRI-COUNTY
JR-SR HIGH
SCHOOL -
ADDITIONS AND
RENOVATIONS**
TRI-COUNTY SCHOOL
CORPORATION
WOLCOTT, INDIANA



KEY PLAN

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PROJECT

24-120

DATE

12/20/24

COORDINATED BY

JPB DTB

DRAWN BY

DTB

CHECKED BY

DTB

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REVISIONS

MARK	DATE	ISSUED FOR
AD-3	02/21/25	ADDENDUM NO. 3

DRAWING

**UNITS "A", "B", AND "C"
ARCHITECTURAL ROOF PLAN**

PROJECT

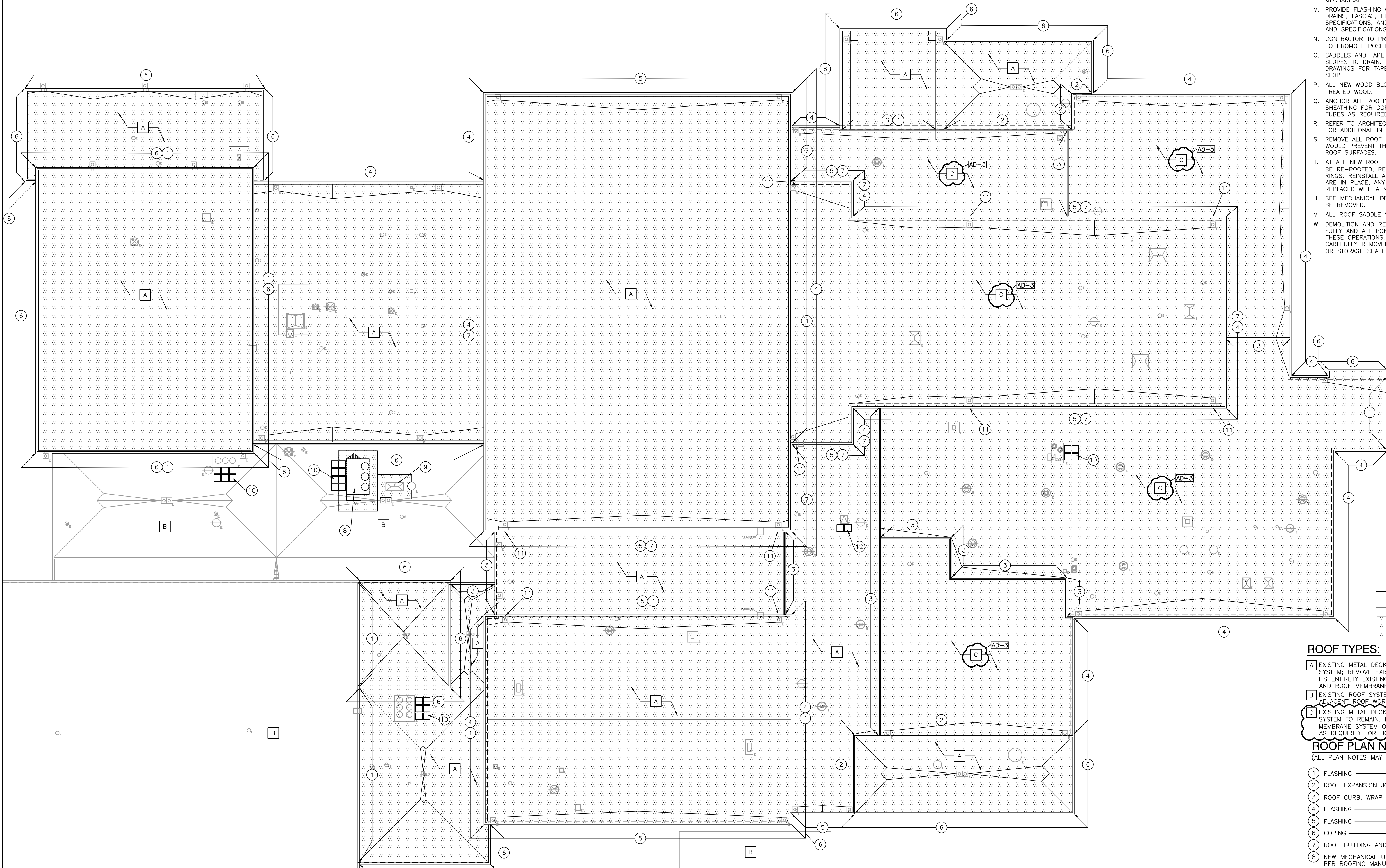
**TRI-COUNTY JR-SR HS
ADDITIONS & RENOVATIONS**

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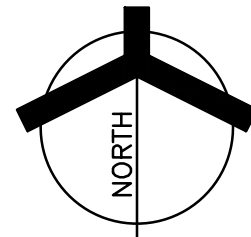
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A

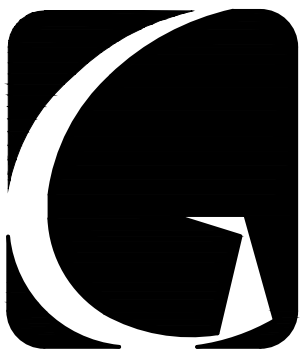
A-201



**UNIT "A", "B", AND "C"
ARCHITECTUREAL ROOF PLAN**
SCALE: 1/16" = 1'-0"



GREENHOUSE



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WOLCOTT, INDIANA

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PROJECT
24-120
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JPB DTB
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DTS
CHECKED BY
DTB

JOSEPH P. BRIGGS
REGISTERED
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STATE OF
INDIANA
ARCHITECT
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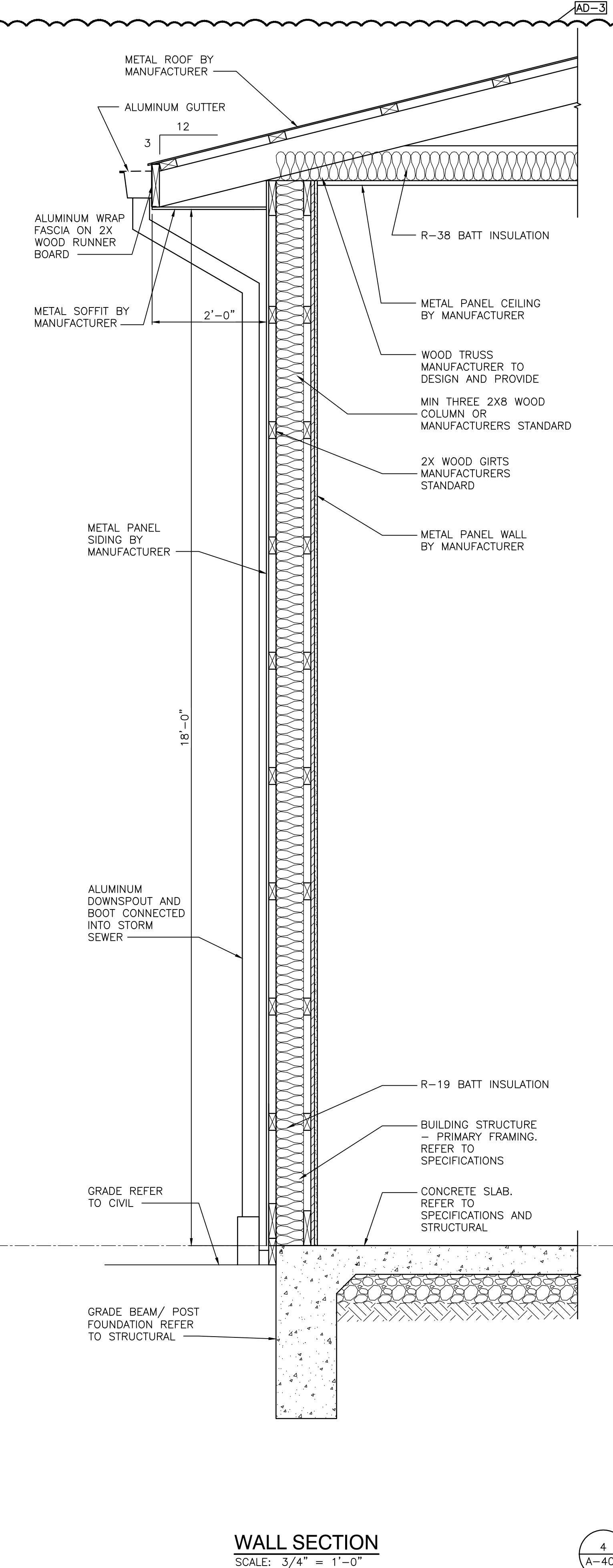
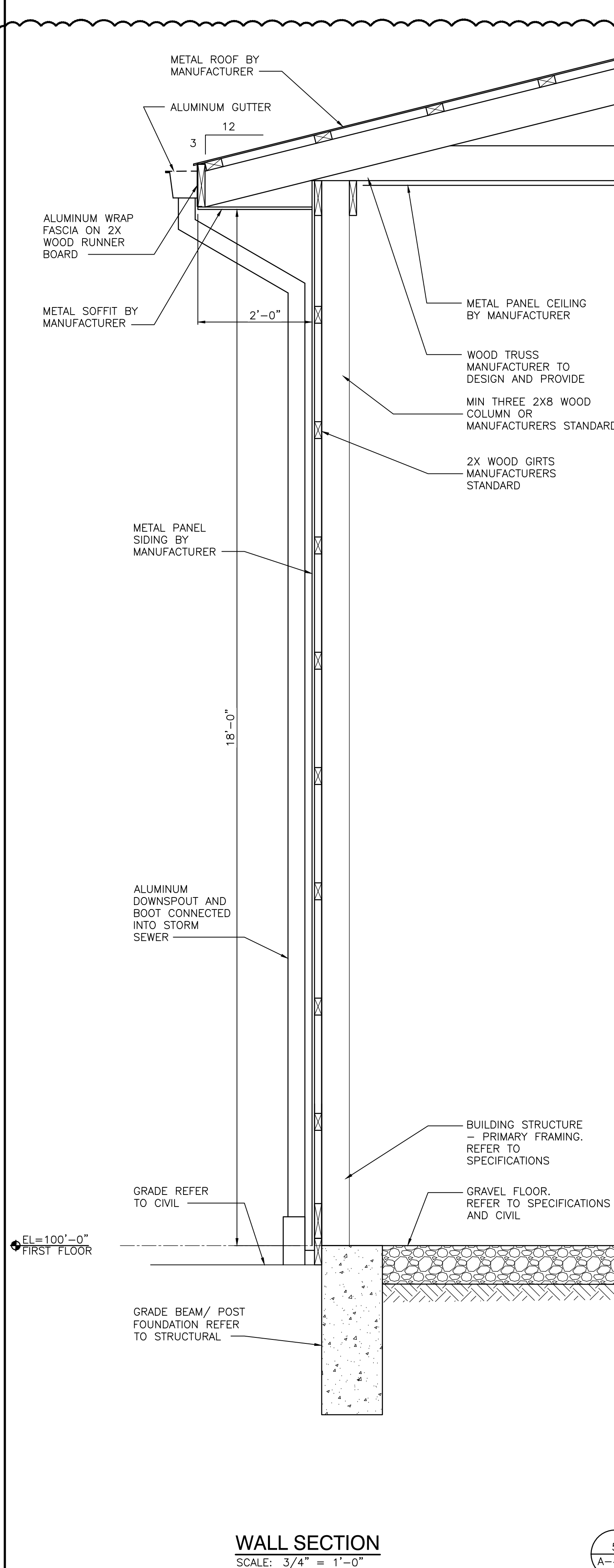
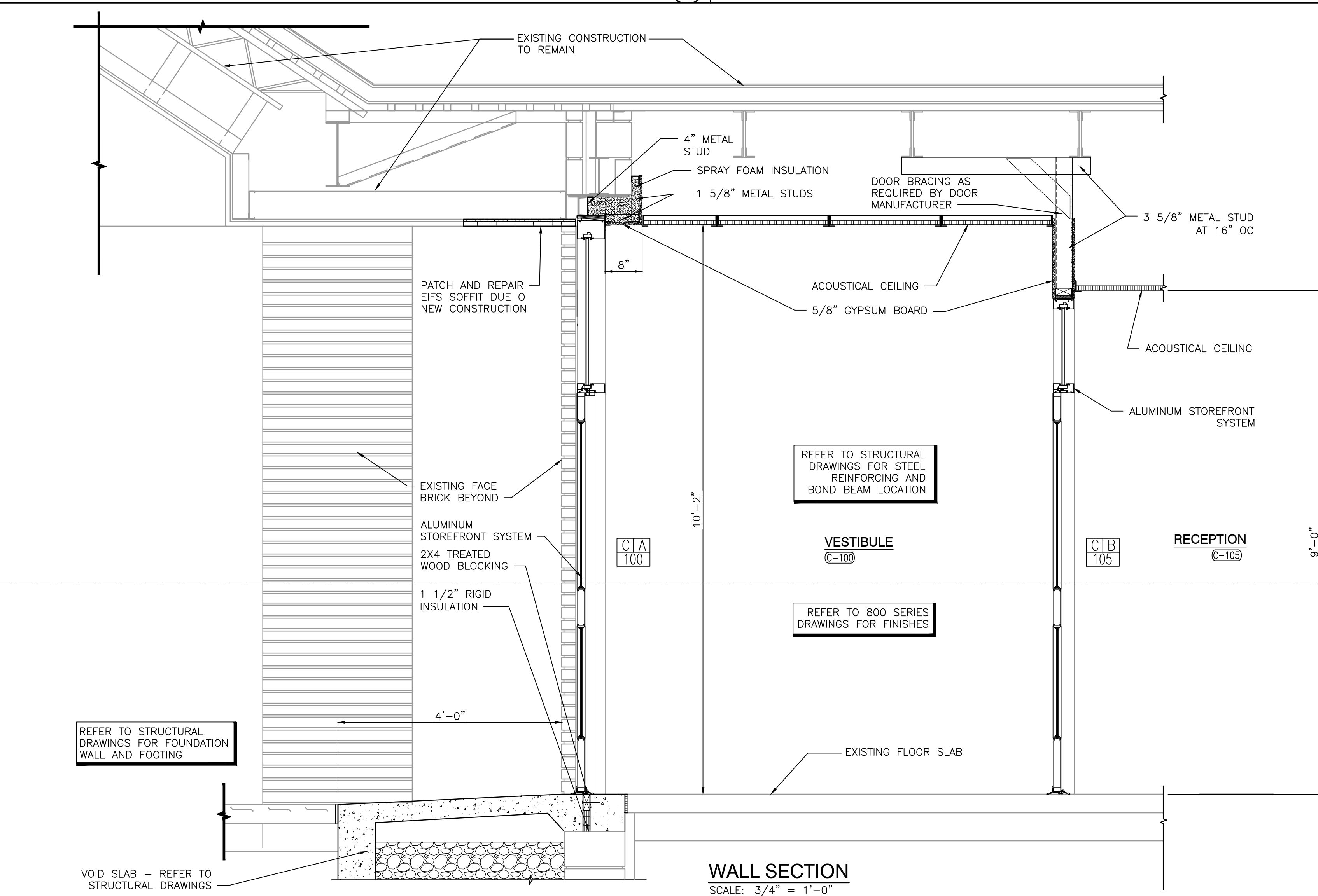
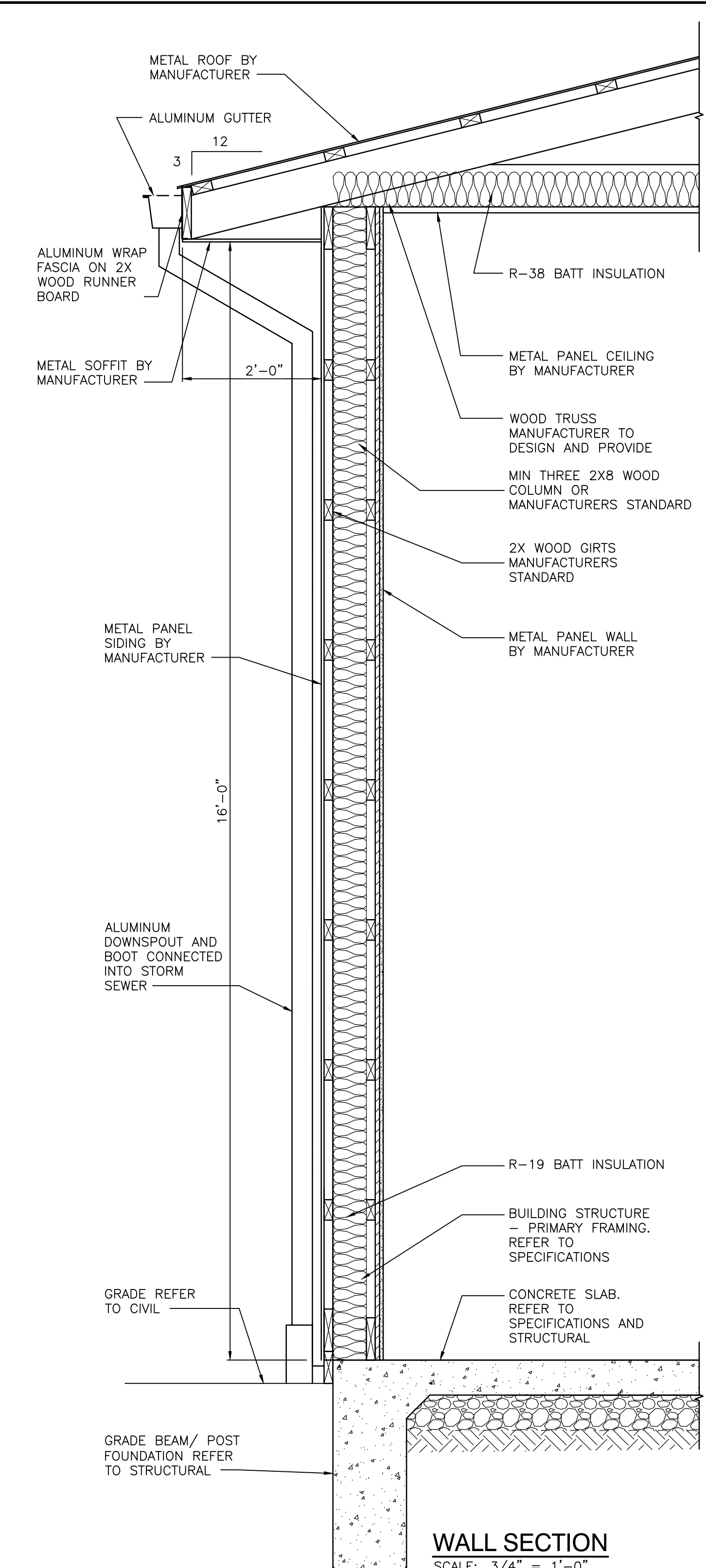
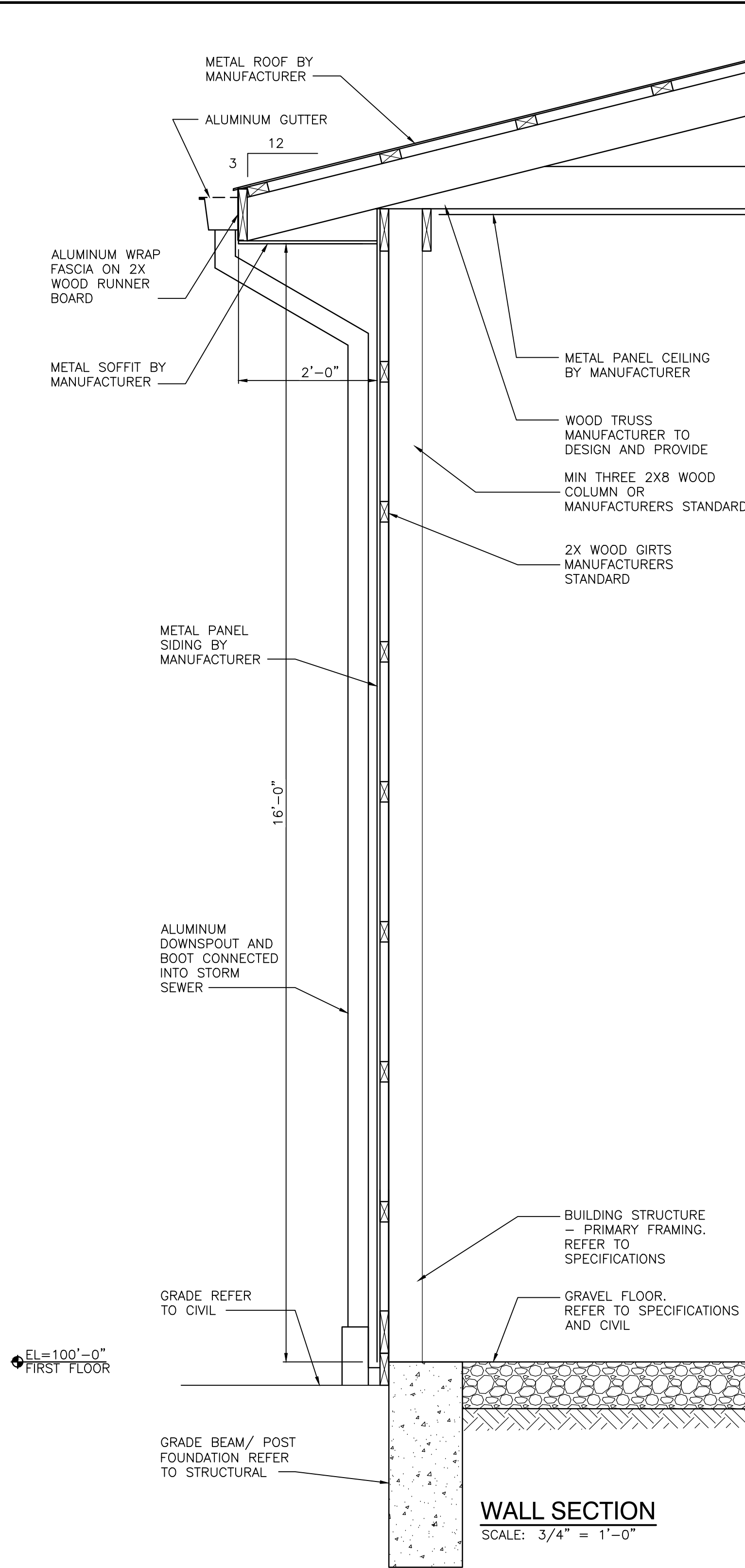
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WALL SECTIONS

PROJECT
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ADDITIONS & RENOVATIONS**

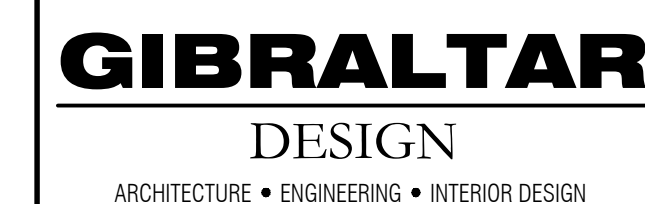
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SHEET

A-402



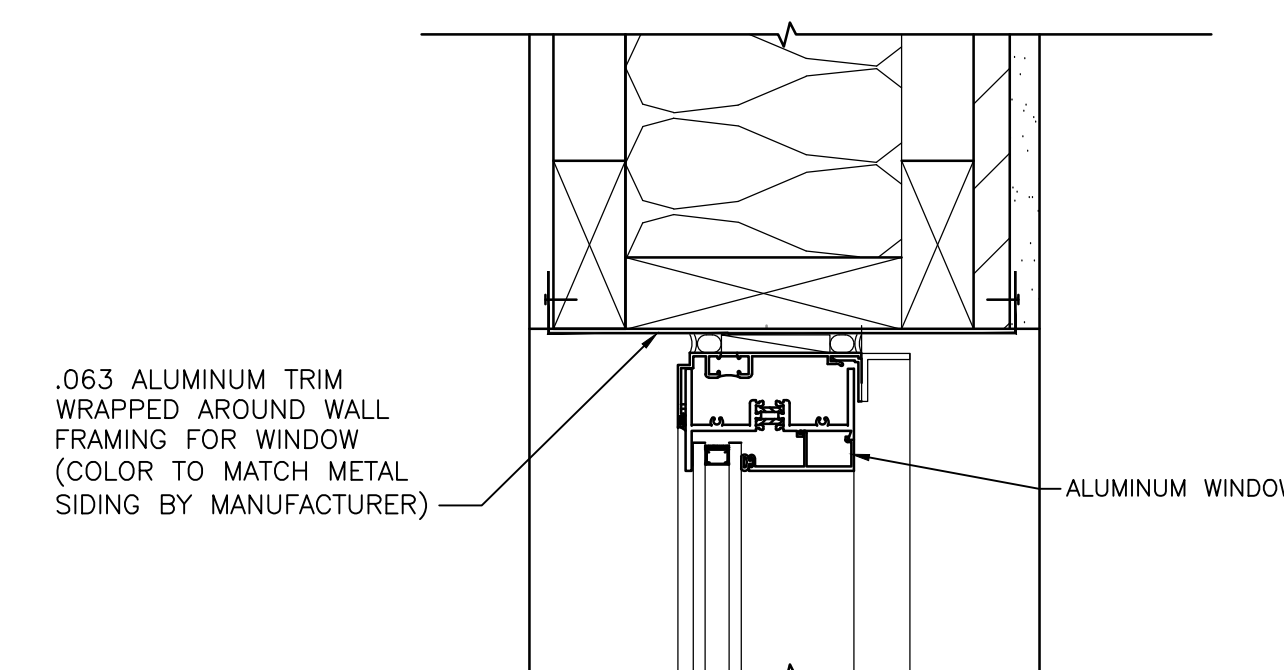

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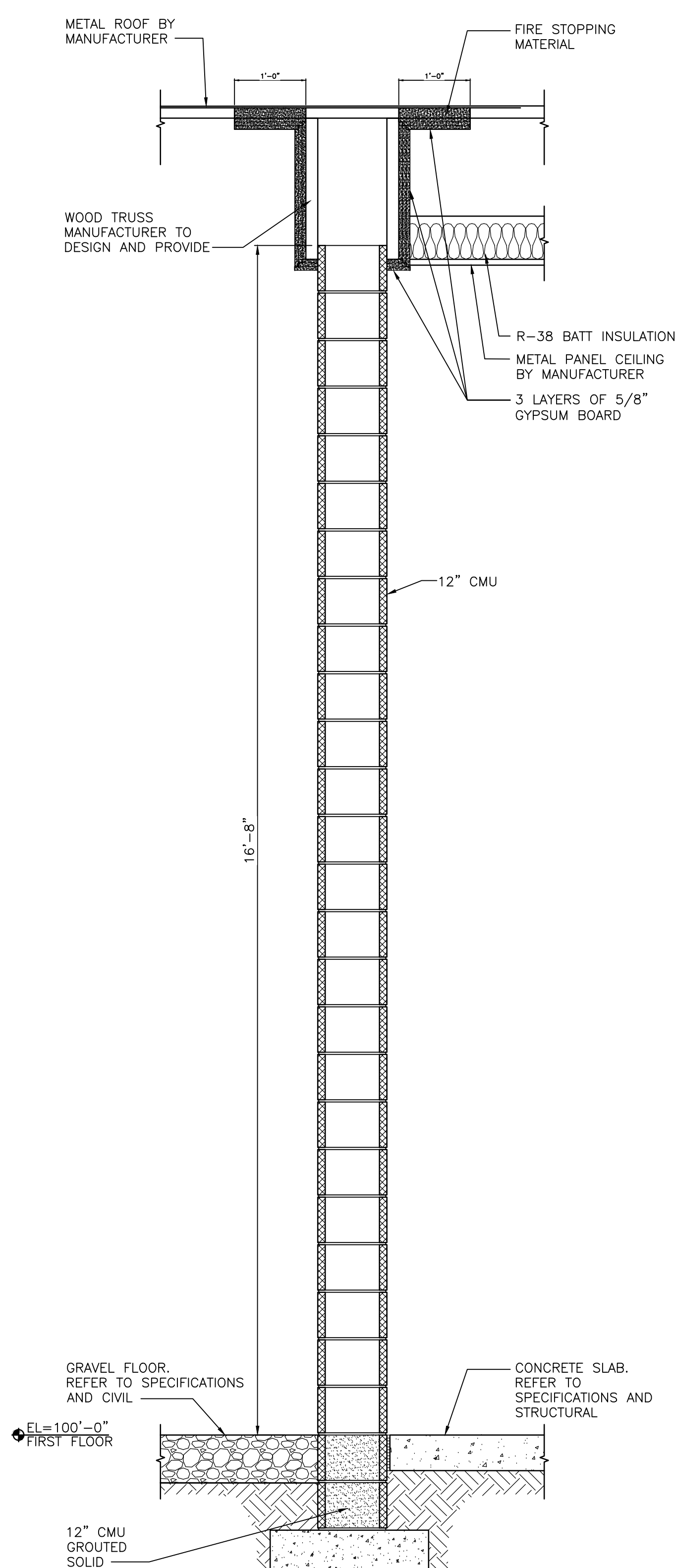
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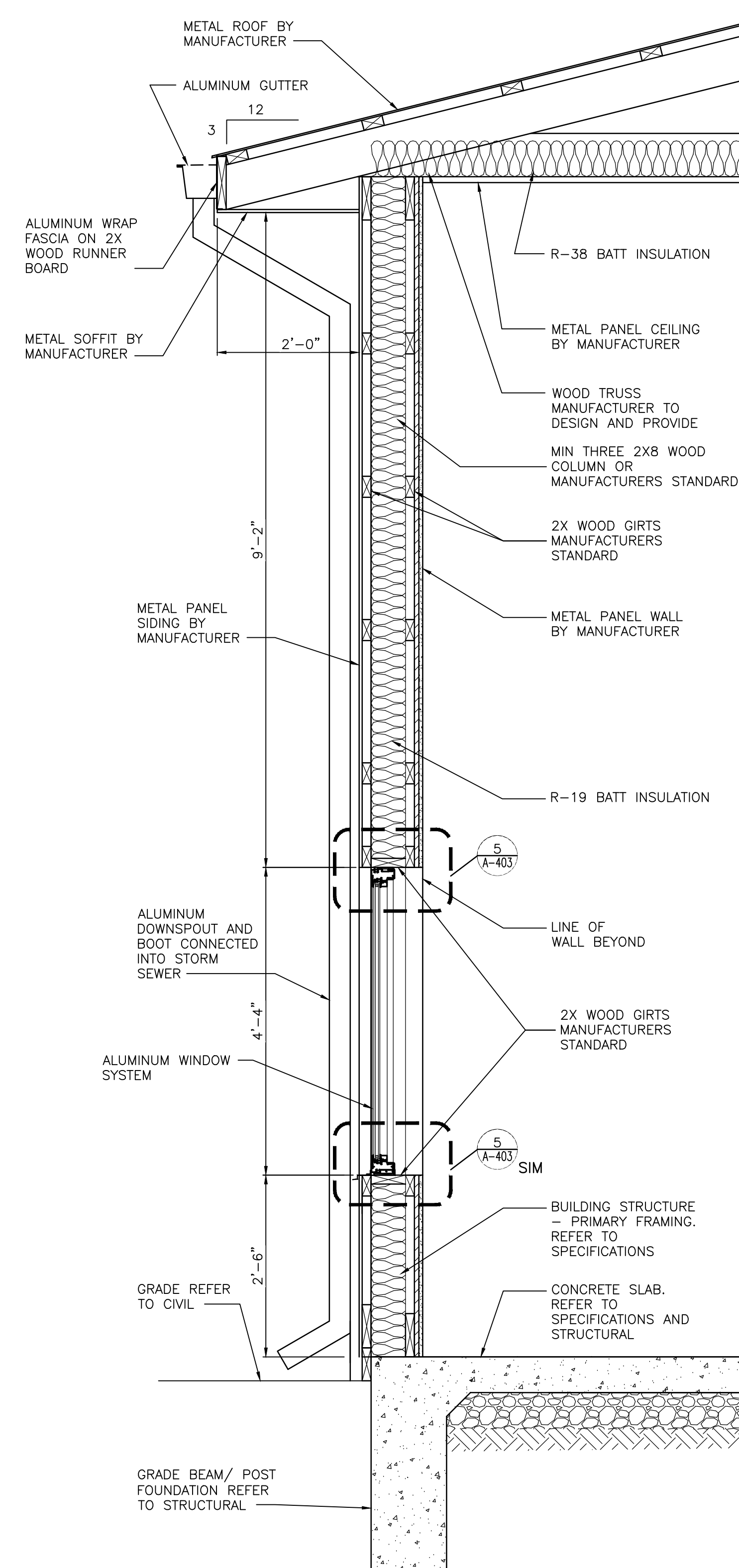
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WOI COTT, INDIANA



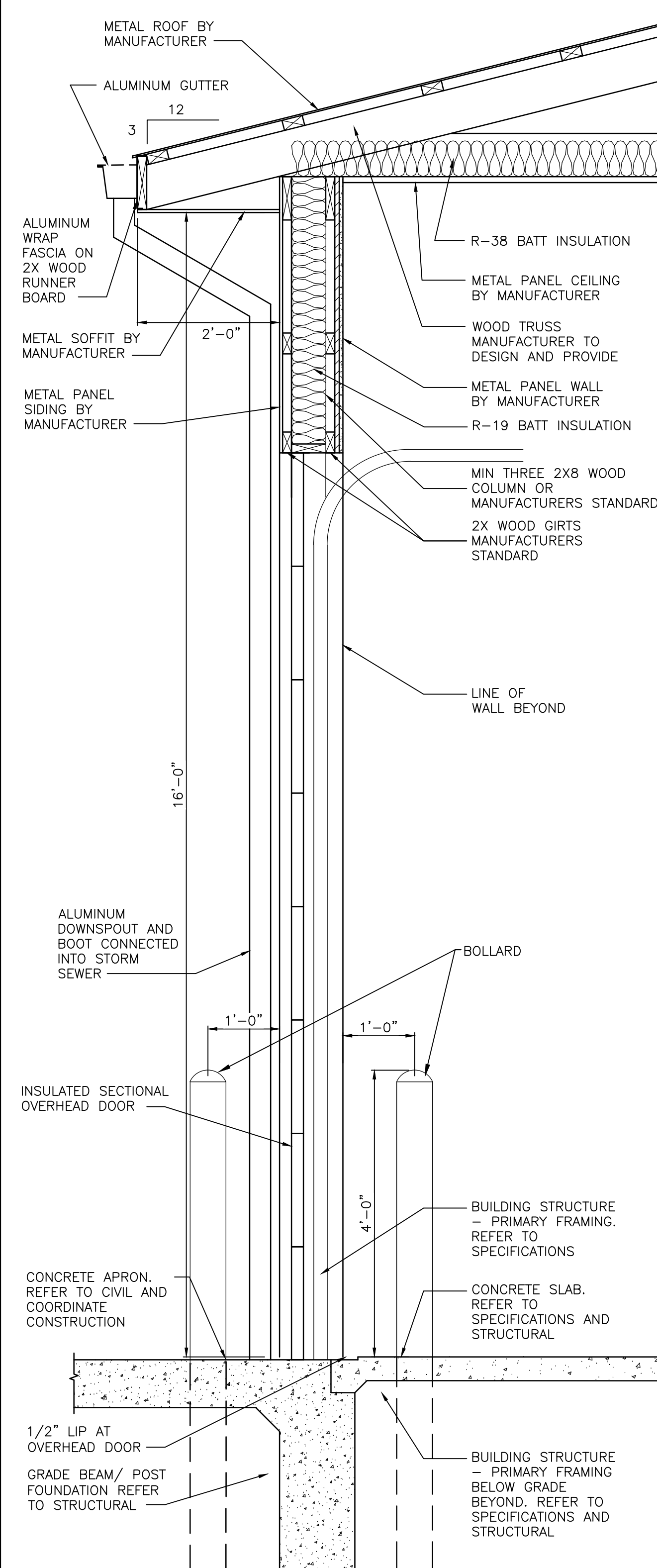
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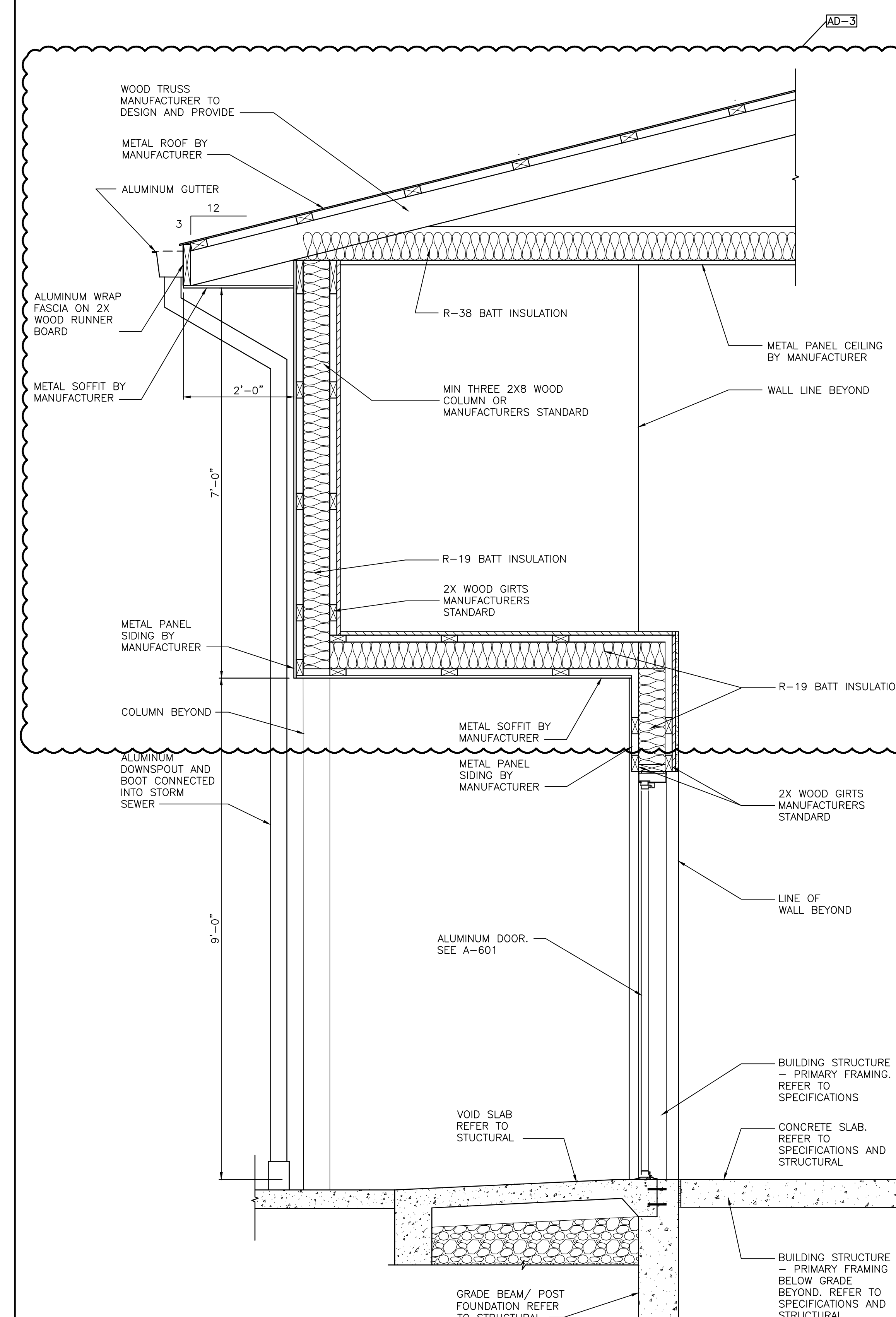
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WALL SECTION
SCALE: $3/4" = 1'-0"$



WALL SECTION
SCALE: 3/4" = 1'-0"



WALL SECTION
SCALE: 3/4" = 1'-0"

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DTR

JOSEPH P. BRIGGS
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ARCHITECT

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DRAWING
WALL SECTIONS

PROJECT
TRI-COUNTY JR-SR HS
ADDITIONS & RENOVATIONS

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SHEET

A-403

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