ADDENDUM
NO. 3

October 17, 2025

BOONE GROVE HIGH SCHOOL
RENOVATION AND RELATED WORK
Valparaiso, IN 46341

TO: ALL BIDDERS OF RECORD

This Addendum forms a part of and modifies the Bidding Requirements, Contract Forms, Contract Conditions, the Specifications, and the Drawings dated September 15, 2025 by Gibraltar Design, Inc. Acknowledge receipt of the Addendum in the space provided on the Bid Form. Failure to do so may subject the Bidder to disqualification.

This Addendum consists of Pages ADD 3-1 and attached Addendum No. 3 from Gibraltar Design, Inc. dated October 16, 2025 and consisting of 4 pages and 23 drawings.

ADDENDUM THREE

Addendum Three (AD.03) to the drawings and specifications prepared by Gibraltar Design for **Boone Grove HS Renovation and Related Work** for Porter Township School Corporation, Valparaiso, Indiana.

All Contractors bidding on this project shall read all of the items covered below and shall comply with all of the requirements as set forth, including any necessary refinements or additions generated by this Addendum and required by the intent of the original contract documents. All Contractors shall acknowledge on their bid form that they have received this Addendum and include the appropriate content of same within their bid proposal.

SPECIFICATIONS

1. **Specification Section 09 84 00 Acoustical Wall and Ceiling Panels**
   A. Add new Sub-Paragraph 2.1.B. as follows: "B. Additional acceptable manufacturer, G & S Acoustics, product AP1 Acoustical Wall Panels."
   B. Add new Sub-Paragraph 2.1.C. as follows: "C. Additional acceptable manufacturer, Specialty Products & Insulation, product Absorption Plus Wall Panels."
2. **Specification Section 21 05 00 Fire Protection Sprinkler System**
   A. Modify the following paragraph: 2.04 SPRINKLER HEADS:
      1. "Sprinkler heads in finished ceiling areas shall be of approved quick response extended coverage design with nominal 1/2" discharge orifice, semi-recessed type with white polyester finish. New sprinkler heads located in suspended lay-in ceiling: Systems shall be centered in each respective tile."
3. **Specification Section 23 88 00 Ductwork and Accessories**
   A. Add new paragraph as follows: "A. Round, square, and/or rectangular supply air diffusers and return air registers with neck dimensions, capacity, and style to match existing. Registers and diffusers shall be constructed of the same materials as existing with baked off white enamel finish (unless otherwise noted), equipped with necessary baffles to eliminate drafts and provide proper air distribution. Each register and diffuser shall be equipped with approved style opposed blade volume damper as noted on the drawings.
      1. Coordinate type of each ceiling diffuser, grille and register with the ceiling system into which it is to be installed.
      2. Approved manufacturers of air diffusers and return air grilles include the following: Nailor, Titus, MetalAire, Krueger or Price.
      3. Supply diffusers shall have a minimum of four louvered vane assemblies. The inner vane assembly shall be removable without the use of tools for access to accessories. The inner vane assembly shall be fixed to provide the proper air distribution characteristics required. No deflecting blades are to be used. Coordinate diffuser frame style with the ceiling system into which it is to be installed.
      4. Supply register shall be double deflection type. Each bar shall be adjustable for the

desired air flow deflection without affecting the setting of other bars. Damper shall be of the opposed blade type and interlock to ensure the minimum of air leakage when closed.

5. Linear supply air diffusers shall be adjustable slot type constructed of extruded aluminum with one or more parallel slots. Each slot shall contain pattern controls, adjustable from the face of the diffuser to deflect the discharge air along a selected axis within a semi-circle of 180 degrees. The same pattern controllers shall function as a volume damper without affecting the air discharge pattern. Coordinate diffuser frame style with the ceiling system into which it is to be installed. For continuous installations, butted units shall be provided with alignment spines. Screws or other fasteners shall not be visible. Finish shall consist of white anodized finish exterior and flat black interior components. Provide matching air supply plenums with extensions necessary for proper duct connections.
6. Return air and exhaust air registers shall combine a curved hemmed edge blade with an opposed blade damper. Damper blades shall be the same as that of the supply register."

B. Provide alternate pricing for the following: "In-lieu-of cleaning and reinstalling the registers, diffusers and grilles, provide an alternate price to replace the existing registers, diffusers, and grilles with units that are equivalent to the existing. Registers, diffusers and grilles shall be manufactured by Nailor, Titus, MetalAire, Krueger or Price."

DRAWINGS

4. Sheet S-201

A. Refer to revised, full-size drawing, included in this Addendum, for revisions.

5. Sheet AD-101 through AD-106

A. Keynotes D27 and D28 added to sheet.

6. Sheet AD-103

A. Refer to revised, full-size drawing, included in this Addendum, for revisions.
   1. Keynotes D27 and D28 added to sheet.
   2. Keynotes D27 added to room C124.

7. Sheet AD-106

A. Refer to revised, full-size drawing, included in this Addendum, for revisions.
   1. Keynotes D27 and D28 added to sheet.
   2. Keynote D28 added to room F109.

8. Sheets A-101 through A-106

A. Keynotes A11 and A12 added to sheet.

9. Sheet A-102

A. Refer to revised, full-size drawing, included in this Addendum, for revisions.
   1. Keynotes A11 and A12 added to sheet.
   2. Remove blank wall section indication at the plan south of Receiving B112.

10. Sheet A-103

A. Refer to revised, full-size drawing, included in this Addendum, for revisions.
   1. Keynotes A11 and A12 added to sheet.
   2. Keynote A11 added to room C124.

11. Sheet A-106

A. Refer to revised, full-size drawing, included in this Addendum, for revisions.
   1. Keynotes A11 and A12 added to sheet.
   2. Keynote A12 added to room F109.

12. Sheet A-820

A. Refer to revised, full-size drawing, included in this Addendum, for revisions.
   1. Revisions to finish schedule.

13. Sheets A-901 through A-906

A. Revision to REFLECTED CEILING PLAN KEYNOTES number C04 to read 'NOT USED'.
B. Removed references of note C04 from the ceiling plans.
C. Added note "K" to GENERAL NOTES that reads "REFER TO SPRINKLER SHEETS FOR EXTENT OF SPRINKLER WORK, INCLUDING SELECTED AREAS OF BRANCHLINE RELOCATION."

14. Sheet A-902

A. Refer to revised, full-size drawing, included in this Addendum, for revisions.
   1. Revised the Cafeteria B-105 ceiling type to ACT-5.
   2. Revision to REFLECTED CEILING PLAN KEYNOTES number C04 to read 'NOT USED'.
   3. Removed references of note C04 from the ceiling plans.
   4. Added note "K" to GENERAL NOTES that reads "REFER TO SPRINKLER SHEETS FOR EXTENT OF SPRINKLER WORK, INCLUDING SELECTED AREAS OF BRANCHLINE RELOCATION."

15. Sheet A-905

A. Refer to revised, full-size drawing, included in this Addendum, for revisions.
   1. Above the indication CORRIDOR E102, added the indication for existing gypsum board and Keynote C02 at the intersection of corridors E102 and E128.
   2. Revision to REFLECTED CEILING PLAN KEYNOTES number C04 to read 'NOT USED'.
   3. Removed references of note C04 from the ceiling plans.
   4. Added note "K" to GENERAL NOTES that reads "REFER TO SPRINKLER SHEETS FOR EXTENT OF SPRINKLER WORK, INCLUDING SELECTED AREAS OF BRANCHLINE RELOCATION."

16. Sheet M-201

A. Refer to revised, full-size drawing, included in this Addendum, for revisions.
   1. Added roof plan with make-up air unit and exhaust fan.

17. Sheet M-204

A. Refer to revised, full-size drawing, included in this Addendum, for revisions.

1. Revised ductwork.
2. Added floor plan for Unit F Mezzanine.

18. Sheet M-501

A. Refer to revised, full-size drawing, included in this Addendum, for revisions.
   1. Added notes.

19. Sheet M-602

A. Refer to revised, full-size drawing, included in this Addendum, for revisions.
   1. Revised AHU-9 section.

20. Sheet ED-101, ED-102, ED-104, ED-106

A. Refer to revised, full-size drawing, included in this Addendum, for revisions.
   1. Added light fixtures to be removed and relocated.

21. Sheet E-101, E-102, E-104, E-106

A. Refer to revised, full-size drawing, included in this Addendum, for revisions.
   1. Added new locations for relocated light fixtures.

22. Sheet E-204

A. Refer to revised, full-size drawing, included in this Addendum, for revisions.
   1. Added demolition and new construction views for Unit F Mezzanine.
   2. Added light fixtures to be removed and relocated in Unit F Demolition Mezzanine Plan.
   3. Added new locations for relocated light fixtures in Unit F Mezzanine Floor Plan.

23. Sheet FP-001

A. Refer to revised, full-size drawing, included in this Addendum, for revisions.
   1. Added Unit F Mezzanine Scope.
   2. Removed office area from scope.

Pages 1 through 4, inclusive, and Twenty-Three (23) Full-Size Drawings, constitute the total makeup of **Addendum Three**.

GIBRALTAR DESIGN

Joseph P. Briggs

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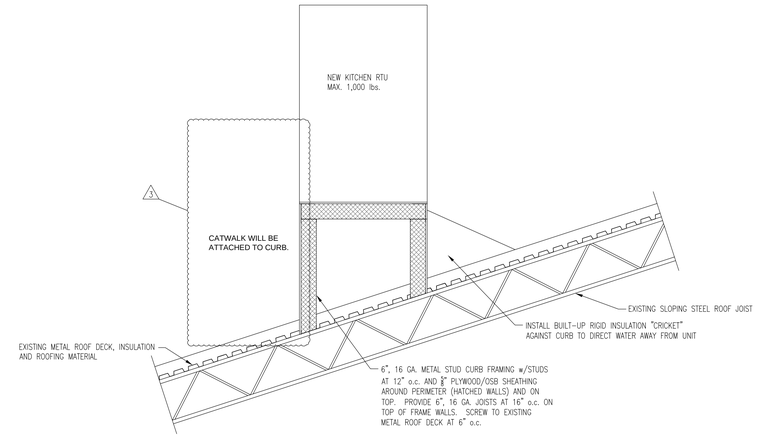
ADDENDUM No. 3 NOTES:

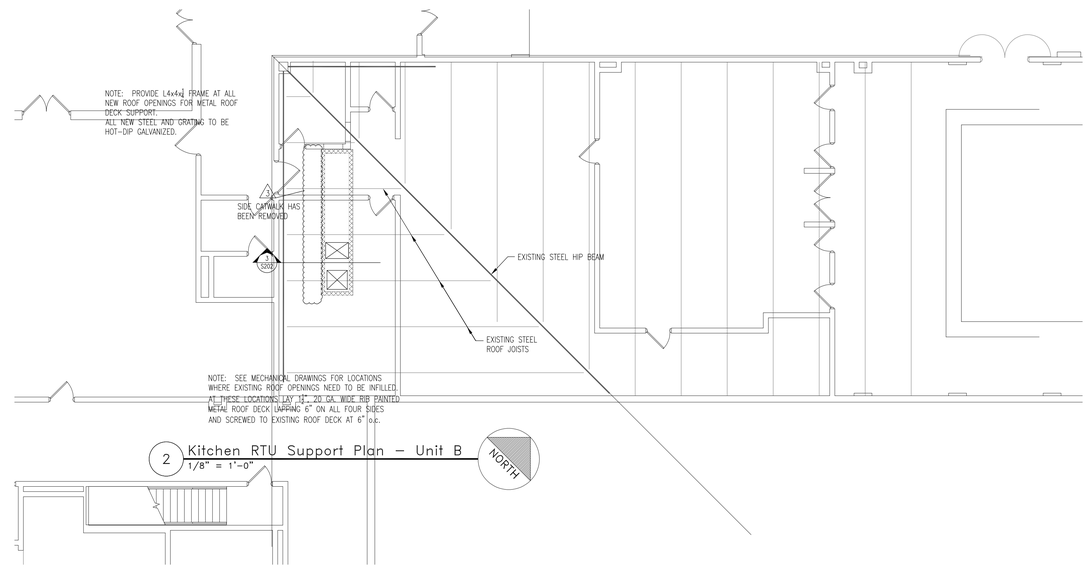
1. UNIT C: THE NORTH END BEARING OF THE STEEL LINTEL OVER THE EXTERIOR WINDOW IN CLASSROOM C113 HAS SHIFTED SLIGHTLY AND CRACKED THE JOINTS AT THE BLOCK BEARING. SHORE THIS LINTEL AS REQUIRED AND REMOVE THE MIS-ALIGNED BLOCKS (2 TOTAL) AND RELAY IN THEIR APPROPRIATE LOCATION AND RESET THE EXISTING BEARING PLATE TO BEAR ON FULLY GROUTED BLOCK CORES. REPAINT WALL TO MATCH EXISTING ADJACENT COLOR.

2. UNIT F: THERE IS A VERTICAL CRACK IN THE EXISTING CONCRETE BLOCK WALL TOWARDS THE NORTH END OF THE EAST WALL OF THE AUXILIARY GYMNASIUM F109. THIS CRACK EXTENDS FROM NEAR THE FLOOR TO NEAR AN EXISTING ROOF BEAM ABOVE. THIS CRACK SHOULD BE FILLED WITH A PAINTABLE FLEXIBLE SEALANT OVER ITS FULL HEIGHT AND PAINTED TO MATCH THE ADJACENT WALL COLORS.

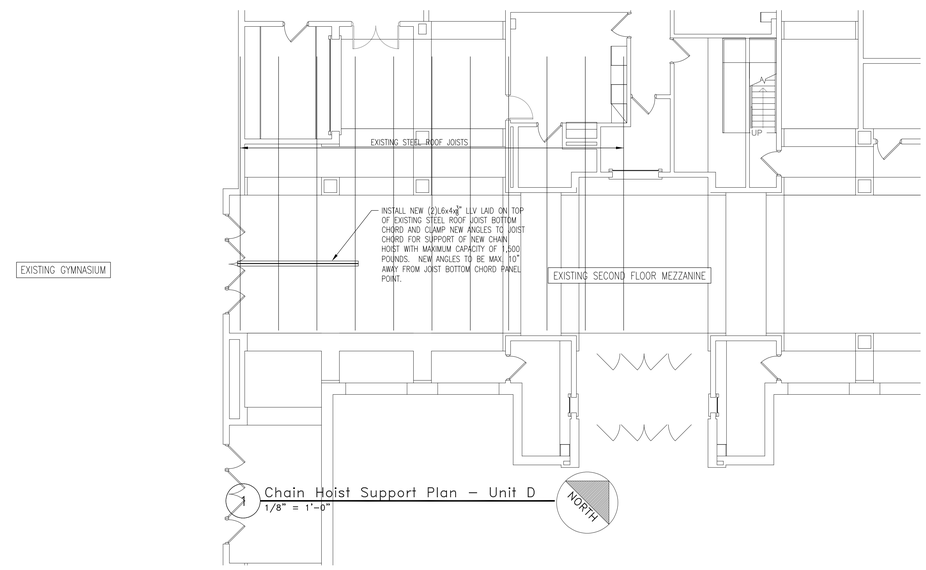


NOTE: FIELD VERIFY ALL DIMENSIONS AND ELEVATIONS.

3 Kitchen RTU Support Section
1/2 = 1'-0"



2 Kitchen RTU Support Plan – Unit B
1/8" = 1'-0"



1 Chain Hoist Support Plan – Unit D
1/8" = 1'-0"

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DESIGN
ARCHITECTURE • ENGINEERING • INTERIOR DESIGN

...\A\A\LHB Logos\LHB Logo Horiz_RGB.bmp

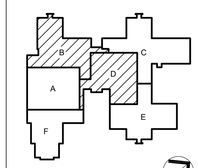
PROJECT:

BOONE GROVE HIGH SCHOOL RENOVATION AND RELATED WORK

FOR:

PORTER TOWNSHIP SCHOOL CORPORATION

260S 500 W
VALPARAISO, IN 46385



KEY PLAN

NORTH

CONSTRUCTION DOCUMENTS

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Phone 317.580.5777 Fax 317.580.5778

PROJECT
24-143
DATE
09/15/25
COORDINATED BY
WBH
DRAWN BY
NHF
CHECKED BY
WBH

WESLEY B. HARRISON
PE60860410
STATE OF INDIANA
PROFESSIONAL ENGINEER

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REVISIONS

MARK	DATE	ISSUED FOR
3	10/16/25	ADDENDUM NUMBER 3

DRAWING
ROOF FRAMING PLAN - UNIT B,D

PROJECT
BOONE GROVE HIGH SCHOOL RENOVATION AND RELATED WORK

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B,D

SHEET
S-201

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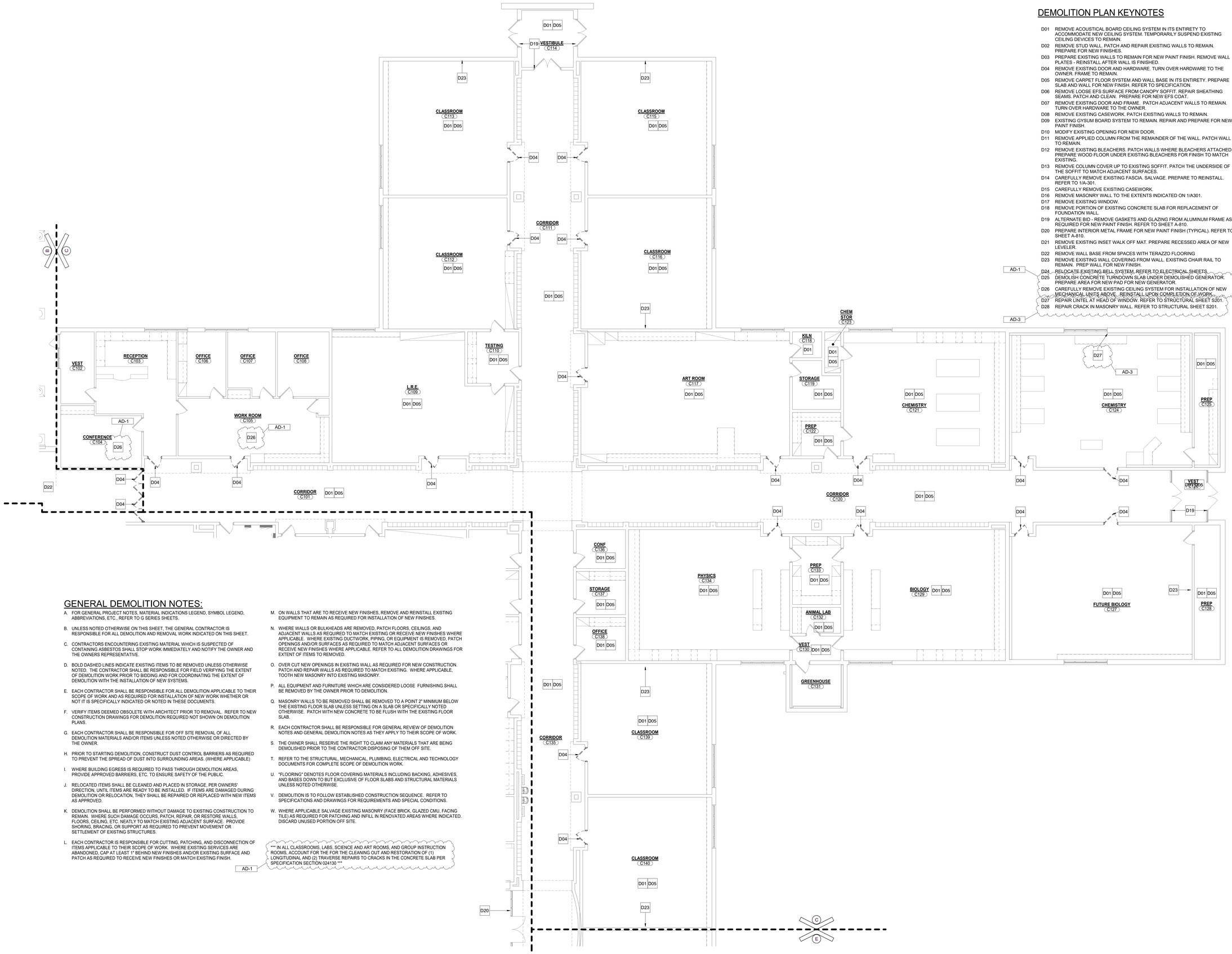

DEMOLITION PLAN KEYNOTES

D01 REMOVE ACOUSTICAL BOARD CEILING SYSTEM IN ITS ENTIRETY TO ACCOMMODATE NEW CEILING SYSTEM. TEMPORARILY SUSPEND EXISTING CEILING DEVICES TO REMAIN.

D02 REMOVE STUD WALL. PATCH AND REPAIR EXISTING WALLS TO REMAIN. PREPARE FOR NEW FINISHES.

D03 PREPARE EXISTING WALLS TO REMAIN FOR NEW PAINT FINISH. REMOVE WALL PLATES - REINSTALL AFTER WALL IS FINISHED.

D04 REMOVE EXISTING DOOR AND HARDWARE. TURN OVER HARDWARE TO THE OWNER. FRAME TO REMAIN.

D05 REMOVE CARPET FLOOR SYSTEM AND WALL BASE IN ITS ENTIRETY. PREPARE SLAB AND WALL FOR NEW FINISH. REFER TO SPECIFICATION.

D06 REMOVE LOOSE EFS SURFACE FROM CANOPY SOFFIT. REPAIR SHEATHING SEAMS. PATCH AND CLEAN. PREPARE FOR NEW EFS COAT.

D07 REMOVE EXISTING DOOR AND FRAME. PATCH ADJACENT WALLS TO REMAIN. TURN OVER HARDWARE TO THE OWNER.

D08 REMOVE EXISTING CASEWORK. PATCH EXISTING WALLS TO REMAIN.

D09 EXISTING GYSUM BOARD SYSTEM TO REMAIN. REPAIR AND PREPARE FOR NEW PAINT FINISH.

D10 MODIFY EXISTING OPENING FOR NEW DOOR.

D11 REMOVE APPLIED COLUMN FROM THE REMAINDER OF THE WALL. PATCH WALL TO REMAIN.

D12 REMOVE EXISTING BLEACHERS. PATCH WALLS WHERE BLEACHERS ATTACHED. PREPARE WOOD FLOOR UNDER EXISTING BLEACHERS FOR FINISH TO MATCH EXISTING.

D13 REMOVE COLUMN COVER UP TO EXISTING SOFFIT. PATCH THE UNDERSIDE OF THE SOFFIT TO MATCH ADJACENT SURFACES.

D14 CAREFULLY REMOVE EXISTING FASCIA. SALVAGE. PREPARE TO REINSTALL. REFER TO 1/A-301.

D15 CAREFULLY REMOVE EXISTING CASEWORK.

D16 REMOVE MASONRY WALL TO THE EXTENTS INDICATED ON 1/A301.

D17 REMOVE EXISTING WINDOW.

D18 REMOVE PORTION OF EXISTING CONCRETE SLAB FOR REPLACEMENT OF FOUNDATION WALL.

D19 ALTERNATE BID - REMOVE GASKETS AND GLAZING FROM ALUMINUM FRAME AS REQUIRED FOR NEW PAINT FINISH. REFER TO SHEET A-810.

D20 PREPARE INTERIOR METAL FRAME FOR NEW PAINT FINISH (TYPICAL). REFER TO SHEET A-810.

D21 REMOVE EXISTING INSET WALK OFF MAT. PREPARE RECESSED AREA OF NEW LEVELER.

D22 REMOVE WALL BASE FROM SPACES WITH TERAZZO FLOORING

D23 REMOVE EXISTING WALL COVERING FROM WALL. EXISTING CHAIR RAIL TO REMAIN. PREP WALL FOR NEW FINISH.

D24 RELOCATE EXISTING BELL SYSTEM. REFER TO ELECTRICAL SHEETS.

D25 DEMOLISH CONCRETE TURNDOWN SLAB UNDER DEMOLISHED GENERATOR. PREPARE AREA FOR NEW PAD FOR NEW GENERATOR.

D26 CAREFULLY REMOVE EXISTING CEILING SYSTEM FOR INSTALLATION OF NEW MECHANICAL UNITS ABOVE. REINSTALL UPON COMPLETION OF WORK.

D27 REPAIR LINTEL AT HEAD OF WINDOW. REFER TO STRUCTURAL SHEET S201.

D28 REPAIR CRACK IN MASONRY WALL. REFER TO STRUCTURAL SHEET S201.

GENERAL DEMOLITION NOTES:

A. FOR GENERAL PROJECT NOTES, MATERIAL INDICATIONS LEGEND, SYMBOL LEGEND, ABBREVIATIONS, ETC., REFER TO G SERIES SHEETS.

B. UNLESS NOTED OTHERWISE ON THIS SHEET, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION AND REMOVAL WORK INDICATED ON THIS SHEET.

C. CONTRACTORS ENCOUNTERING EXISTING MATERIAL WHICH IS SUSPECTED OF CONTAINING ASBESTOS SHALL STOP WORK IMMEDIATELY AND NOTIFY THE OWNER AND THE OWNERS REPRESENTATIVE.

D. BOLD DASHED LINES INDICATE EXISTING ITEMS TO BE REMOVED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE EXTENT OF DEMOLITION WORK PRIOR TO BIDDING AND FOR COORDINATING THE EXTENT OF DEMOLITION WITH THE INSTALLATION OF NEW SYSTEMS.

E. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION APPLICABLE TO THEIR SCOPE OF WORK AND AS REQUIRED FOR INSTALLATION OF NEW WORK WHETHER OR NOT IT IS SPECIFICALLY INDICATED OR NOTED IN THESE DOCUMENTS.

F. VERIFY ITEMS DEEMED OBSOLETE WITH ARCHITECT PRIOR TO REMOVAL. REFER TO NEW CONSTRUCTION DRAWINGS FOR DEMOLITION REQUIRED NOT SHOWN ON DEMOLITION PLANS.

G. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR OFF SITE REMOVAL OF ALL DEMOLITION MATERIALS AND/OR ITEMS UNLESS NOTED OTHERWISE OR DIRECTED BY THE OWNER.

H. PRIOR TO STARTING DEMOLITION, CONSTRUCT DUST CONTROL BARRIERS AS REQUIRED TO PREVENT THE SPREAD OF DUST INTO SURROUNDING AREAS. (WHERE APPLICABLE)

I. WHERE BUILDING EGRESS IS REQUIRED TO PASS THROUGH DEMOLITION AREAS, PROVIDE APPROVED BARRIERS, ETC. TO ENSURE SAFETY OF THE PUBLIC.

J. RELOCATED ITEMS SHALL BE CLEANED AND PLACED IN STORAGE, PER OWNERS' DIRECTION, UNTIL ITEMS ARE READY TO BE INSTALLED. IF ITEMS ARE DAMAGED DURING DEMOLITION OR RELOCATION, THEY SHALL BE REPAIRED OR REPLACED WITH NEW ITEMS AS APPROVED.

K. DEMOLITION SHALL BE PERFORMED WITHOUT DAMAGE TO EXISTING CONSTRUCTION TO REMAIN. WHERE SUCH DAMAGE OCCURS, PATCH, REPAIR, OR RESTORE WALLS, FLOORS, CEILING, ETC. NEATLY TO MATCH EXISTING ADJACENT SURFACE. PROVIDE SHORING, BRACING, OR SUPPORT AS REQUIRED TO PREVENT MOVEMENT OR SETTLEMENT OF EXISTING STRUCTURES.

L. EACH CONTRACTOR IS RESPONSIBLE FOR CUTTING, PATCHING, AND DISCONNECTION OF ITEMS APPLICABLE TO THEIR SCOPE OF WORK. WHERE EXISTING SERVICES ARE ABANDONED, CAP AT LEAST 1" BEHIND NEW FINISHES AND/OR EXISTING SURFACE AND PATCH AS REQUIRED TO RECEIVE NEW FINISHES OR MATCH EXISTING FINISH.

M. ON WALLS THAT ARE TO RECEIVE NEW FINISHES, REMOVE AND REINSTALL EXISTING EQUIPMENT TO REMAIN AS REQUIRED FOR INSTALLATION OF NEW FINISHES.

N. WHERE WALLS OR BULKHEADS ARE REMOVED, PATCH FLOORS, CEILINGS, AND ADJACENT WALLS AS REQUIRED TO MATCH EXISTING OR RECEIVE NEW FINISHES WHERE APPLICABLE. WHERE EXISTING DUCTWORK, PIPING, OR EQUIPMENT IS REMOVED, PATCH OPENINGS AND/OR SURFACES AS REQUIRED TO MATCH ADJACENT SURFACES OR RECEIVE NEW FINISHES WHERE APPLICABLE. REFER TO ALL DEMOLITION DRAWINGS FOR EXTENT OF ITEMS TO REMOVED.

O. OVER CUT NEW OPENINGS IN EXISTING WALL AS REQUIRED FOR NEW CONSTRUCTION. PATCH AND REPAIR WALLS AS REQUIRED TO MATCH EXISTING. WHERE APPLICABLE, TOOTH NEW MASONRY INTO EXISTING MASONRY.

P. ALL EQUIPMENT AND FURNITURE WHICH ARE CONSIDERED LOOSE FURNISHING SHALL BE REMOVED BY THE OWNER PRIOR TO DEMOLITION.

Q. MASONRY WALLS TO BE REMOVED SHALL BE REMOVED TO A POINT 2" MINIMUM BELOW THE EXISTING FLOOR SLAB UNLESS SETTING ON A SLAB OR SPECIFICALLY NOTED OTHERWISE. PATCH WITH NEW CONCRETE TO BE FLUSH WITH THE EXISTING FLOOR SLAB.

R. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR GENERAL REVIEW OF DEMOLITION NOTES AND GENERAL DEMOLITION NOTES AS THEY APPLY TO THEIR SCOPE OF WORK.

S. THE OWNER SHALL RESERVE THE RIGHT TO CLAIM ANY MATERIALS THAT ARE BEING DEMOLISHED PRIOR TO THE CONTRACTOR DISPOSING OF THEM OFF SITE.

T. REFER TO THE STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL AND TECHNOLOGY DOCUMENTS FOR COMPLETE SCOPE OF DEMOLITION WORK.

U. "FLOORING" DENOTES FLOOR COVERING MATERIALS INCLUDING BACKING, ADHESIVES, AND BASES DOWN TO BUT EXCLUSIVE OF FLOOR SLABS AND STRUCTURAL MATERIALS UNLESS NOTED OTHERWISE.

V. DEMOLITION IS TO FOLLOW ESTABLISHED CONSTRUCTION SEQUENCE. REFER TO SPECIFICATIONS AND DRAWINGS FOR REQUIREMENTS AND SPECIAL CONDITIONS.

W. WHERE APPLICABLE SALVAGE EXISTING MASONRY (FACE BRICK, GLAZED CMU, FACING TILE) AS REQUIRED FOR PATCHING AND INFILL IN RENOVATED AREAS WHERE INDICATED. DISCARD UNUSED PORTION OFF SITE.

*** IN ALL CLASSROOMS, LABS, SCIENCE AND ART ROOMS, AND GROUP INSTRUCTION ROOMS, ACCOUNT FOR THE FOR THE CLEANING OUT AND RESTORATION OF (1) LONGITUDINAL AND (2) TRAVERSE REPAIRS TO CRACKS IN THE CONCRETE SLAB PER SPECIFICATION SECTION 024130 ***

AD-1

1 AD-103 **UNIT "C" ARCHITECTURAL FIRST FLOOR DEMOLITION PLAN**

1/8" = 1'-0"

NORTH

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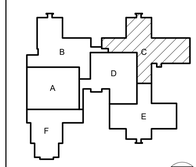
GIBRALTAR DESIGN
ARCHITECTURE · ENGINEERING · INTERIOR DESIGN

PROJECT:

BOONE GROVE HIGH SCHOOL RENOVATION AND RELATED WORK

PORTER TOWNSHIP SCHOOL CORPORATION
260 S 500 W
VALPARAISO, IN 46385



KEY PLAN

NORTH

100% CD DOCUMENTS

GIBRALTAR DESIGN
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Indianapolis, IN 46260
Homepage: www.GibraltarDesign.com
Email: info@GibraltarDesign.com
Phone 317.580.5777 Fax 317.580.5778

PROJECT
24-143
DATE
Sept 15, 2025
COORDINATED BY
EJM
DRAWN BY
EJM CLN
CHECKED BY
JPB

JOSEPH P. BRIGGS REGISTERED NO. 11600109 STATE OF INDIANA ARCHITECT

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REVISIONS

MARK	DATE	ISSUED FOR
AD-1	10/02/25	ADDENDUM 1
AD-3	10/16/25	ADDENDUM 3

DRAWING
UNIT "C" ARCHITECTURAL FIRST FLOOR DEMOLITION PLAN

PROJECT
BOONE GROVE HIGH SCHOOL RENOVATION AND RELATED WORK

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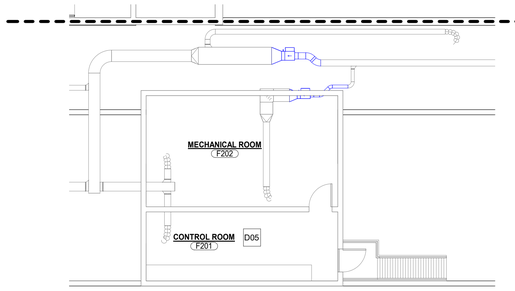
C

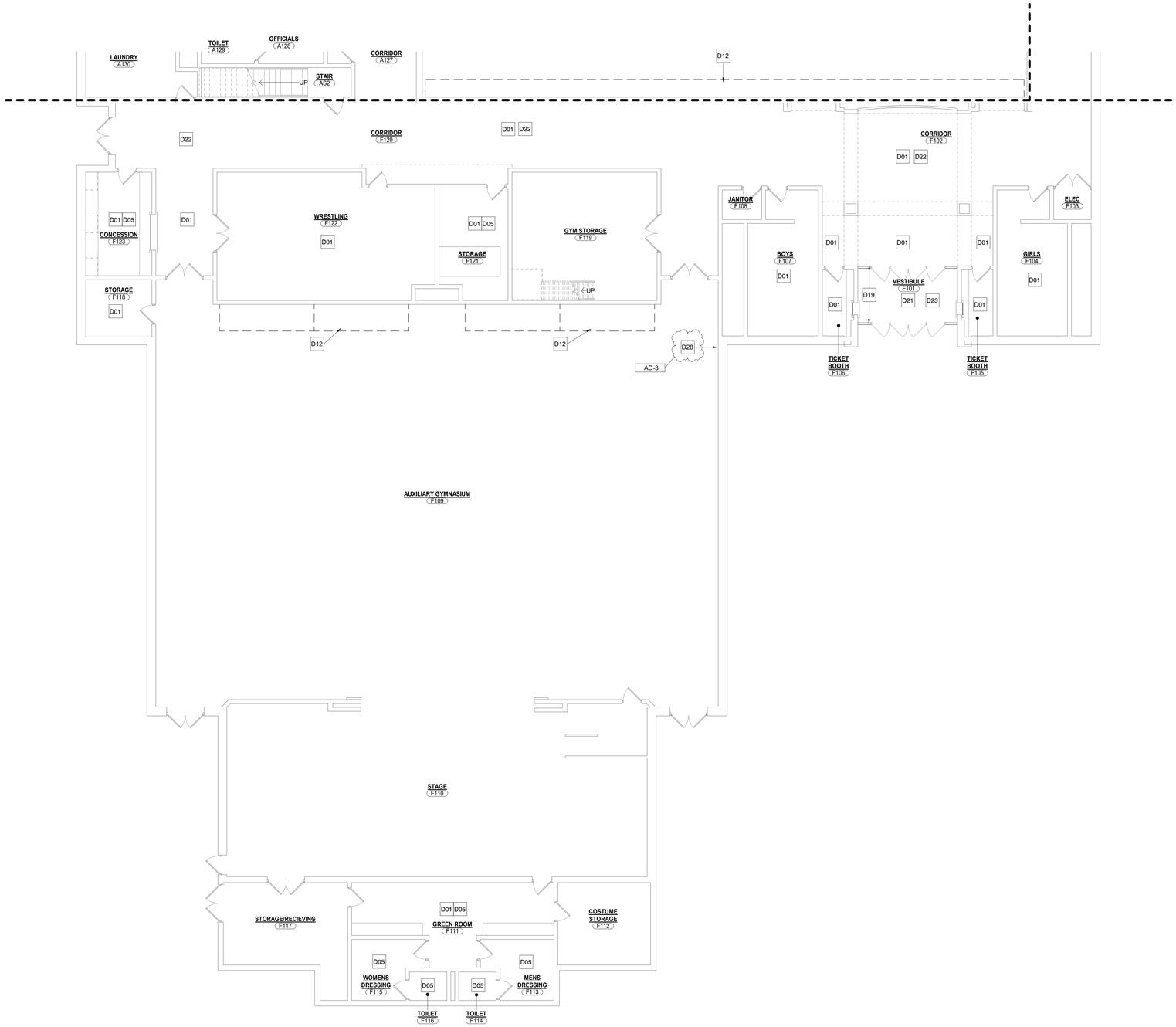
SHEET
AD-103



UNIT "F" ARCHITECTURAL SECOND FLOOR DEMOLITION PLAN

2 AD-106 1/8" = 1'-0"

NORTH



UNIT "F" ARCHITECTURAL FIRST FLOOR DEMOLITION PLAN

1 AD-106 1/8" = 1'-0"

NORTH

DEMOLITION PLAN KEYNOTES

D01 REMOVE ACOUSTICAL BOARD CEILING SYSTEM IN ITS ENTIRETY TO ACCOMMODATE NEW CEILING SYSTEM. TEMPORARILY SUSPEND EXISTING CEILING DEVICES TO REMAIN.

D02 REMOVE STUD WALL. PATCH AND REPAIR EXISTING WALLS TO REMAIN. PREPARE FOR NEW FINISHES.

D03 PREPARE EXISTING WALLS TO REMAIN FOR NEW PAINT FINISH. REMOVE WALL PLATES - REINSTALL AFTER WALL IS FINISHED.

D04 REMOVE EXISTING DOOR AND HARDWARE. TURN OVER HARDWARE TO THE OWNER. FRAME TO REMAIN.

D05 REMOVE CARPET FLOOR SYSTEM AND WALL BASE IN ITS ENTIRETY. PREPARE SLAB AND WALL FOR NEW FINISH. REFER TO SPECIFICATION.

D06 REMOVE LOOSE EFS SURFACE FROM CANOPY SOFFIT. REPAIR SHEATHING SEAMS. PATCH AND CLEAN. PREPARE FOR NEW EFS COAT.

D07 REMOVE EXISTING DOOR AND FRAME. PATCH ADJACENT WALLS TO REMAIN. TURN OVER HARDWARE TO THE OWNER.

D08 REMOVE EXISTING CASEWORK. PATCH EXISTING WALLS TO REMAIN.

D09 EXISTING GYSUM BOARD SYSTEM TO REMAIN. REPAIR AND PREPARE FOR NEW PAINT FINISH.

D10 MODIFY EXISTING OPENING FOR NEW DOOR.

D11 REMOVE APPLIED COLUMN FROM THE REMAINDER OF THE WALL. PATCH WALL TO REMAIN.

D12 REMOVE EXISTING BLEACHERS. PATCH WALLS WHERE BLEACHERS ATTACHED. PREPARE WOOD FLOOR UNDER EXISTING BLEACHERS FOR FINISH TO MATCH EXISTING.

D13 REMOVE COLUMN COVER UP TO EXISTING SOFFIT. PATCH THE UNDERSIDE OF THE SOFFIT TO MATCH ADJACENT SURFACES.

D14 CAREFULLY REMOVE EXISTING FASCIA. SALVAGE. PREPARE TO REINSTALL. REFER TO 1/A-301.

D15 CAREFULLY REMOVE EXISTING CASEWORK.

D16 REMOVE MASONRY WALL TO THE EXTENTS INDICATED ON 1/A301.

D17 REMOVE EXISTING WINDOW.

D18 REMOVE PORTION OF EXISTING CONCRETE SLAB FOR REPLACEMENT OF FOUNDATION WALL.

D19 ALTERNATE BID - REMOVE GASKETS AND GLAZING FROM ALUMINUM FRAME AS REQUIRED FOR NEW PAINT FINISH. REFER TO SHEET A-810.

D20 PREPARE INTERIOR METAL FRAME FOR NEW PAINT FINISH (TYPICAL). REFER TO SHEET A-810.

D21 REMOVE EXISTING INSET WALK OFF MAT. PREPARE RECESSED AREA OF NEW LEVELER.

D22 REMOVE WALL BASE FROM SPACES WITH TERAZZO FLOORING

D23 REMOVE EXISTING WALL COVERING FROM WALL. EXISTING CHAIR RAIL TO REMAIN. PREP WALL FOR NEW FINISH.

D24 RELOCATE EXISTING BELL SYSTEM. REFER TO ELECTRICAL SHEETS.

D25 DEMOLISH CONCRETE TURNDOWN SLAB UNDER DEMOLISHED GENERATOR. PREPARE AREA FOR NEW PAD FOR NEW GENERATOR.

D26 CAREFULLY REMOVE EXISTING CEILING SYSTEM FOR INSTALLATION OF NEW MECHANICAL UNITS ABOVE. REINSTALL UPON COMPLETION OF WORK.

AD-1 D27 REPAIR LINTEL AT HEAD OF WINDOW. REFER TO STRUCTURAL SHEET S201.

D28 REPAIR CRACK IN MASONRY WALL. REFER TO STRUCTURAL SHEET S201.

AD-3

GENERAL DEMOLITION NOTES:

A. FOR GENERAL PROJECT NOTES, MATERIAL INDICATIONS LEGEND, SYMBOL LEGEND, ABBREVIATIONS, ETC., REFER TO G SERIES SHEETS.

B. UNLESS NOTED OTHERWISE ON THIS SHEET, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION AND REMOVAL WORK INDICATED ON THIS SHEET.

C. CONTRACTORS ENCOUNTERING EXISTING MATERIAL WHICH IS SUSPECTED OF CONTAINING ASBESTOS SHALL STOP WORK IMMEDIATELY AND NOTIFY THE OWNER AND THE OWNERS REPRESENTATIVE.

D. BOLD DASHED LINES INDICATE EXISTING ITEMS TO BE REMOVED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE EXTENT OF DEMOLITION WORK PRIOR TO BIDDING AND FOR COORDINATING THE EXTENT OF DEMOLITION WITH THE INSTALLATION OF NEW SYSTEMS.

E. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION APPLICABLE TO THEIR SCOPE OF WORK AND AS REQUIRED FOR INSTALLATION OF NEW WORK WHETHER OR NOT IT IS SPECIFICALLY INDICATED OR NOTED IN THESE DOCUMENTS.

F. VERIFY ITEMS DEEMED OBSOLETE WITH ARCHITECT PRIOR TO REMOVAL. REFER TO NEW CONSTRUCTION DRAWINGS FOR DEMOLITION REQUIRED NOT SHOWN ON DEMOLITION PLANS.

G. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR OFF SITE REMOVAL OF ALL DEMOLITION MATERIALS AND/OR ITEMS UNLESS NOTED OTHERWISE OR DIRECTED BY THE OWNER.

H. PRIOR TO STARTING DEMOLITION, CONSTRUCT DUST CONTROL BARRIERS AS REQUIRED TO PREVENT THE SPREAD OF DUST INTO SURROUNDING AREAS. (WHERE APPLICABLE)

I. WHERE BUILDING EGRESS IS REQUIRED TO PASS THROUGH DEMOLITION AREAS, PROVIDE APPROVED BARRIERS, ETC. TO ENSURE SAFETY OF THE PUBLIC.

J. RELOCATED ITEMS SHALL BE CLEANED AND PLACED IN STORAGE, PER OWNERS' DIRECTION, UNTIL ITEMS ARE READY TO BE INSTALLED. IF ITEMS ARE DAMAGED DURING DEMOLITION OR RELOCATION, THEY SHALL BE REPAIRED OR REPLACED WITH NEW ITEMS AS APPROVED.

K. DEMOLITION SHALL BE PERFORMED WITHOUT DAMAGE TO EXISTING CONSTRUCTION TO REMAIN. WHERE SUCH DAMAGE OCCURS, PATCH, REPAIR, OR RESTORE WALLS, FLOORS, CEILING, ETC. NEATLY TO MATCH EXISTING ADJACENT SURFACE. PROVIDE SHORING, BRACING, OR SUPPORT AS REQUIRED TO PREVENT MOVEMENT OR SETTLEMENT OF EXISTING STRUCTURES.

L. EACH CONTRACTOR IS RESPONSIBLE FOR CUTTING, PATCHING, AND DISCONNECTION OF ITEMS APPLICABLE TO THEIR SCOPE OF WORK. WHERE EXISTING SERVICES ARE ABANDONED, CAP AT LEAST 1" BEHIND NEW FINISHES AND/OR EXISTING SURFACE AND PATCH AS REQUIRED TO RECEIVE NEW FINISHES OR MATCH EXISTING FINISH.

M. ON WALLS THAT ARE TO RECEIVE NEW FINISHES, REMOVE AND REINSTALL EXISTING EQUIPMENT TO REMAIN AS REQUIRED FOR INSTALLATION OF NEW FINISHES.

N. WHERE WALLS OR BULKHEADS ARE REMOVED, PATCH FLOORS, CEILINGS, AND ADJACENT WALLS AS REQUIRED TO MATCH EXISTING OR RECEIVE NEW FINISHES WHERE APPLICABLE. WHERE EXISTING DUCTWORK, PIPING, OR EQUIPMENT IS REMOVED, PATCH OPENINGS AND/OR SURFACES AS REQUIRED TO MATCH ADJACENT SURFACES OR RECEIVE NEW FINISHES WHERE APPLICABLE. REFER TO ALL DEMOLITION DRAWINGS FOR EXTENT OF ITEMS TO REMOVED.

O. OVER CUT NEW OPENINGS IN EXISTING WALL AS REQUIRED FOR NEW CONSTRUCTION. PATCH AND REPAIR WALLS AS REQUIRED TO MATCH EXISTING. WHERE APPLICABLE, TOOTH NEW MASONRY INTO EXISTING MASONRY.

P. ALL EQUIPMENT AND FURNITURE WHICH ARE CONSIDERED LOOSE FURNISHING SHALL BE REMOVED BY THE OWNER PRIOR TO DEMOLITION.

Q. MASONRY WALLS TO BE REMOVED SHALL BE REMOVED TO A POINT 2" MINIMUM BELOW THE EXISTING FLOOR SLAB UNLESS SETTING ON A SLAB OR SPECIFICALLY NOTED OTHERWISE. PATCH WITH NEW CONCRETE TO BE FLUSH WITH THE EXISTING FLOOR SLAB.

R. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR GENERAL REVIEW OF DEMOLITION NOTES AND GENERAL DEMOLITION NOTES AS THEY APPLY TO THEIR SCOPE OF WORK.

S. THE OWNER SHALL RESERVE THE RIGHT TO CLAIM ANY MATERIALS THAT ARE BEING DEMOLISHED PRIOR TO THE CONTRACTOR DISPOSING OF THEM OFF SITE.

T. REFER TO THE STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL AND TECHNOLOGY DOCUMENTS FOR COMPLETE SCOPE OF DEMOLITION WORK.

U. "FLOORING" DENOTES FLOOR COVERING MATERIALS INCLUDING BACKING, ADHESIVES, AND BASES DOWN TO BUT EXCLUSIVE OF FLOOR SLABS AND STRUCTURAL MATERIALS UNLESS NOTED OTHERWISE.

V. DEMOLITION IS TO FOLLOW ESTABLISHED CONSTRUCTION SEQUENCE. REFER TO SPECIFICATIONS AND DRAWINGS FOR REQUIREMENTS AND SPECIAL CONDITIONS.

W. WHERE APPLICABLE SALVAGE EXISTING MASONRY (FACE BRICK, GLAZED CMU, FACING TILE) AS REQUIRED FOR PATCHING AND INFILL IN RENOVATED AREAS WHERE INDICATED. DISCARD UNUSED PORTION OFF SITE.

AD-1 *** IN ALL CLASSROOMS, LABS, SCIENCE AND ART ROOMS, AND GROUP INSTRUCTION ROOMS, ACCOUNT FOR THE FOR THE CLEANING OUT AND RESTORATION OF (1) LONGITUDINAL AND (2) TRAVERSE REPAIRS TO CRACKS IN THE CONCRETE SLAB PER SPECIFICATION SECTION 024130 ***

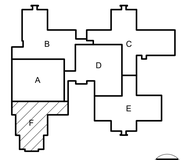
GIBRALTAR DESIGN
ARCHITECTURE - ENGINEERING - INTERIOR DESIGN

PROJECT:

BOONE GROVE HIGH SCHOOL RENOVATION AND RELATED WORK

PORTER TOWNSHIP SCHOOL CORPORATION

260 S 500 W
VALPARAISO, IN 46385



KEY PLAN

NORTH

100% CD DOCUMENTS

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PROJECT
24-143
DATE
Sept 15, 2025
COORDINATED BY
EJM
DRAWN BY
EJM CLN
CHECKED BY
JPB

JOSEPH P. BRIGGS
REGISTERED
NO. 11600109
STATE OF INDIANA
ARCHITECT

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REVISIONS

MARK	DATE	ISSUED FOR
AD-1	10/02/25	ADDENDUM 1
AD-3	10/16/25	ADDENDUM 3

DRAWING
UNIT "F" ARCHITECTURAL FIRST & SECOND FLOOR DEMOLITION PLANS

PROJECT
BOONE GROVE HIGH SCHOOL RENOVATION AND RELATED WORK

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F

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AD-106

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ARCHITECTURAL PLAN KEYNOTES

A

A01 NEW PERMANENT BLEACHERS.

A02 NEW MOBILE BLEACHERS CONSISTING OF (9) INDIVIDUAL UNITS OF 3 ROW (15 TOTAL SEATS).

A03 PATCH FLOOR AND WALL WHERE WALLS WERE REMOVED.

A04 INFILL EXISTING WALL OPENING WITH NEW DOOR AND WALL CONSTRUCTION SIMILAR TO EXISTING WALL CONSTRUCTION (2 LAYERS OF 1/2" GYP EA SIDE OF 4" METAL STUDS). VERIFY WALL CONSTRUCTION

A05 PRIOR TO INSTALLATION OF NEW BLEACHERS, FINISH THE WOOD FLOOR UNDER THE RETRACTED BLEACHERS AREA TO MATCH THE ADJACENT WOOD FLOOR.

A06 ALTERNATE BID - REINSTALL GLAZING IN ALUMINUM FRAME. PROVIDE NEW GASKETING IN CASES WHERE EXISTING GASKETING WAS DAMAGED DURING REMOVAL. REFER TO SHEET A-810.

A07 REFER TO SHEET A-810 FOR METAL FRAME PROFILE.

A08 REINSTALL GLAZING IN ALUMINUM FRAME. PROVIDE NEW GASKETING IN CASES WHERE EXISTING GASKETING WAS DAMAGED DURING REMOVAL.

A09 INFILL RECESSED FLOOR AREA WITH FLOOR LEVELER UP TO ADJACENT TERRAZZO LEVEL.

A10 NEW TURN DOWN SLAB UNDER THE NEW GAS GENERATOR. APPROXIMATE SIZE IS 232"L x 95"W. REFER TO STRUCTURAL SHEETS.

A11 REPAIR LINTEL AT HEAD OF WINDOW. REFER TO STRUCTURAL SHEET S202.

A12 REPAIR CRACK IN MASONRY WALL. REFER TO STRUCTURAL SHEET S202.

A30 REBUILD MASONRY WALL FROM EXPANSION JOINT TO 2'-0" PAST WINDOW AND TOOTH INTO EXISTING.

A31 INSTALL SLAB LEVELER. REFER TO STRUCTURAL DRAWINGS.

AD-1

GENERAL PLAN NOTES:

A. FOR GENERAL PROJECT NOTES, MATERIAL INDICATIONS LEGEND, SYMBOL LEGEND, ABBREVIATIONS, ETC., REFER TO G-SERIES SHEETS.

B. PLAN DIMENSIONS TO MASONRY WALLS ARE TO FACE OF ROUGH MASONRY. PLAN DIMENSIONS TO STUD WALLS ARE TO FACE OF FINISHED GYPSUM BOARD OR PLASTER. PLAN DIMENSIONS TO STUD WALLS WITH CERAMIC TILE FINISH ARE TO THE FACE OF TILE BACKER BOARD.

C. ALL CMU WALLS THAT DO NOT LAY OUT IN FULL OR HALF LENGTHS SHOULD BE BALANCED SO AS NOT TO HAVE ANY PIECES LESS THAN 4" IN SIZE EXPOSED TO VIEW.

D. MASONRY WALLS BEARING ON A THICKENED SLAB AT SLAB DEPRESSIONS REQUIRE CUT MASONRY UNITS SO THAT COURSING BEGINS AT THE FLOOR LINE.

E. THE BASE FIRST FLOOR ELEVATION INDICATED FOR THE PROJECT IS 100'-0". REFER TO SITE PLAN FOR CORRELATION TO USGS DATUM.

F. HINGE SIDE OF DOOR JAMB AT CMU WALLS SHALL BE LOCATED 8" MINIMUM FROM ADJACENT WALL AND HINGE SIDE OF DOOR JAMB AT GYPSUM BOARD WALLS SHALL BE LOCATED 4" MINIMUM FROM ADJACENT WALL UNLESS NOTED OTHERWISE.

G. PROVIDE FIRE TREATED WOOD BLOCKING (OR METAL STRAPPING WHERE INDICATED) WITHIN METAL STUD WALLS FOR WALL MOUNTED ITEMS.

H. REFER TO LIFE SAFETY PLANS REGARDING FIRE RATED WALL LOCATIONS AND OTHER CODE INFORMATION.

I. INTERIOR CMU WALLS ARE TO BE RUNNING BOND UNLESS NOTED OTHERWISE.

J. WHERE NEW CMU WALLS INTERSECT EXISTING CMU WALLS AT A CORNER OR ARE ALIGNED WITH EXISTING CMU WALLS, TOOTH NEW CMU INTO EXISTING CMU UNLESS NOTED OTHERWISE.

K. REFER TO DEMOLITION SHEETS FOR ADDITIONAL PATCHING AND REPAIR WORK.

L. ALL EXPOSED CONCRETE MASONRY UNITS (CMU) CORNERS ARE TO BE BULLNOSED, EXCEPT AT MASONRY BULKHEADS AND EXTERIOR WINDOW JAMBS.

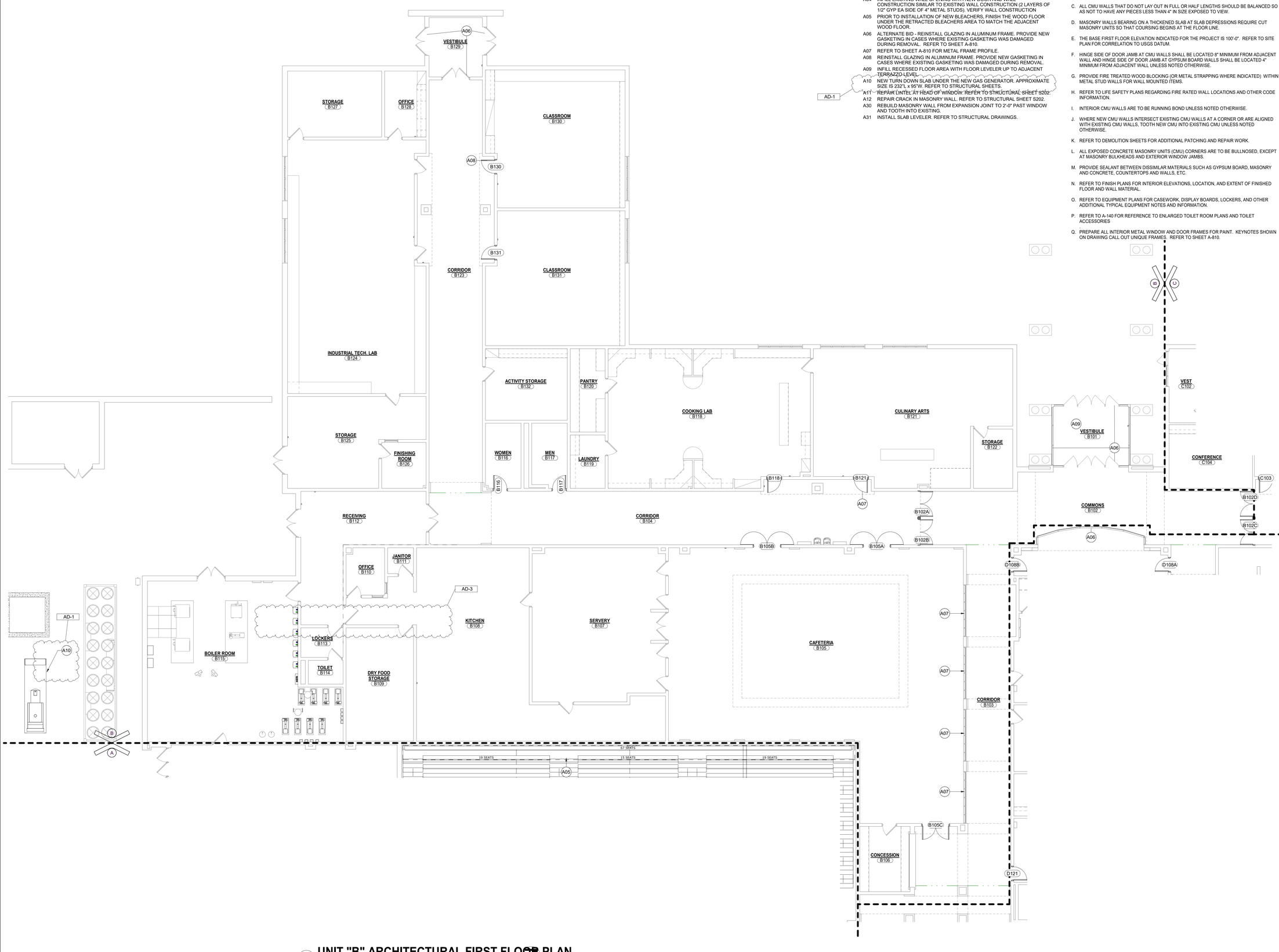
M. PROVIDE SEALANT BETWEEN DISSIMILAR MATERIALS SUCH AS GYPSUM BOARD, MASONRY AND CONCRETE, COUNTERTOPS AND WALLS, ETC.

N. REFER TO FINISH PLANS FOR INTERIOR ELEVATIONS, LOCATION, AND EXTENT OF FINISHED FLOOR AND WALL MATERIAL.

O. REFER TO EQUIPMENT PLANS FOR CASEWORK, DISPLAY BOARDS, LOCKERS, AND OTHER ADDITIONAL TYPICAL EQUIPMENT NOTES AND INFORMATION.

P. REFER TO A-140 FOR REFERENCE TO ENLARGED TOILET ROOM PLANS AND TOILET ACCESSORIES

Q. PREPARE ALL INTERIOR METAL WINDOW AND DOOR FRAMES FOR PAINT. KEYNOTES SHOWN ON DRAWING CALL OUT UNIQUE FRAMES. REFER TO SHEET A-810.



1 A-102 UNIT "B" ARCHITECTURAL FIRST FLOOR PLAN
1/8" = 1'-0"

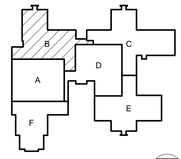
GIBRALTAR DESIGN
ARCHITECTURE · ENGINEERING · INTERIOR DESIGN

PROJECT:

BOONE GROVE HIGH SCHOOL RENOVATION AND RELATED WORK

PORTER TOWNSHIP SCHOOL CORPORATION

260 S 500 W
VALPARAISO, IN 46385



KEY PLAN

NORTH

100% CD DOCUMENTS

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PROJECT
24-143
DATE
Sept 15, 2025
COORDINATED BY
EJM
DRAWN BY
EJM CLN
CHECKED BY
JPB

JOSEPH P. BRIGGS REGISTERED NO. 11600109 STATE OF INDIANA ARCHITECT

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REVISIONS

MARK	DATE	ISSUED FOR
AD-1	10/02/25	ADDENDUM 1
AD-3	10/16/25	ADDENDUM 3

DRAWING
UNIT "B" ARCHITECTURAL FIRST FLOOR PLAN

PROJECT
BOONE GROVE HIGH SCHOOL RENOVATION AND RELATED WORK

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B

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A-102

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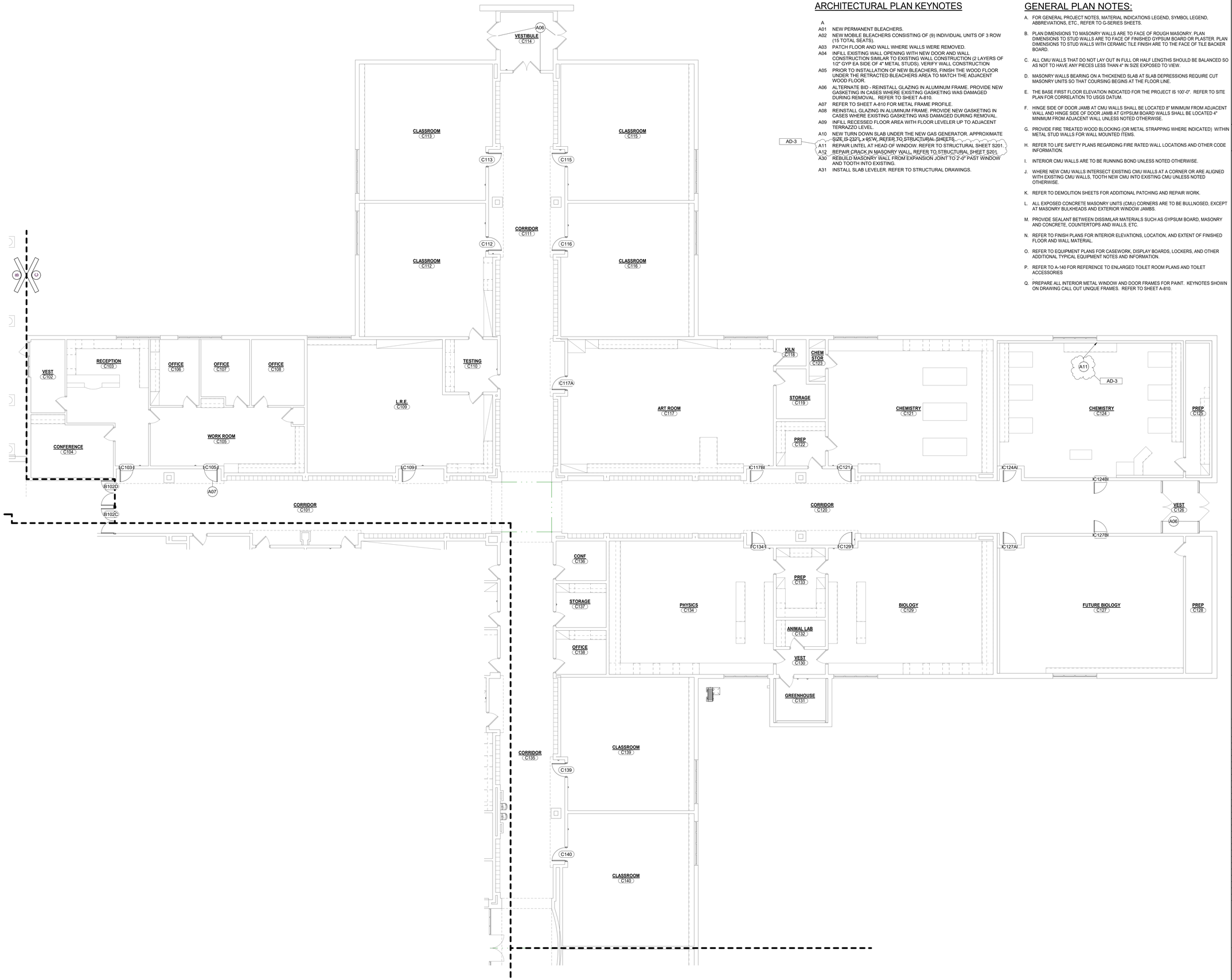

1 A-103 **UNIT "C" ARCHITECTURAL FIRST FLOOR PLAN**

1/8" = 1'-0"

NORTH

ARCHITECTURAL PLAN KEYNOTES

A

A01 NEW PERMANENT BLEACHERS.

A02 NEW MOBILE BLEACHERS CONSISTING OF (9) INDIVIDUAL UNITS OF 3 ROW (15 TOTAL SEATS).

A03 PATCH FLOOR AND WALL WHERE WALLS WERE REMOVED.

A04 INFILL EXISTING WALL OPENING WITH NEW DOOR AND WALL CONSTRUCTION SIMILAR TO EXISTING WALL CONSTRUCTION (2 LAYERS OF 1/2" GYP EA SIDE OF 4" METAL STUDS). VERIFY WALL CONSTRUCTION

A05 PRIOR TO INSTALLATION OF NEW BLEACHERS, FINISH THE WOOD FLOOR UNDER THE RETRACTED BLEACHERS AREA TO MATCH THE ADJACENT WOOD FLOOR.

A06 ALTERNATE BID - REINSTALL GLAZING IN ALUMINUM FRAME. PROVIDE NEW GASKETING IN CASES WHERE EXISTING GASKETING WAS DAMAGED DURING REMOVAL. REFER TO SHEET A-810.

A07 REFER TO SHEET A-810 FOR METAL FRAME PROFILE.

A08 REINSTALL GLAZING IN ALUMINUM FRAME. PROVIDE NEW GASKETING IN CASES WHERE EXISTING GASKETING WAS DAMAGED DURING REMOVAL.

A09 INFILL RECESSED FLOOR AREA WITH FLOOR LEVELER UP TO ADJACENT TERRAZZO LEVEL.

A10 NEW TURN DOWN SLAB UNDER THE NEW GAS GENERATOR. APPROXIMATE SIZE IS 232"L x 65"W. REFER TO STRUCTURAL SHEETS.

AD-3

A11 REPAIR LINTEL AT HEAD OF WINDOW. REFER TO STRUCTURAL SHEET S201.

A12 REPAIR CRACK IN MASONRY WALL. REFER TO STRUCTURAL SHEET S201.

A30 REBUILD MASONRY WALL FROM EXPANSION JOINT TO 2'-0" PAST WINDOW AND TOOTH INTO EXISTING.

A31 INSTALL SLAB LEVELER. REFER TO STRUCTURAL DRAWINGS.

GENERAL PLAN NOTES:

A. FOR GENERAL PROJECT NOTES, MATERIAL INDICATIONS LEGEND, SYMBOL LEGEND, ABBREVIATIONS, ETC., REFER TO G-SERIES SHEETS.

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D. MASONRY WALLS BEARING ON A THICKENED SLAB AT SLAB DEPRESSIONS REQUIRE CUT MASONRY UNITS SO THAT COURSING BEGINS AT THE FLOOR LINE.

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F. HINGE SIDE OF DOOR JAMB AT CMU WALLS SHALL BE LOCATED 8" MINIMUM FROM ADJACENT WALL AND HINGE SIDE OF DOOR JAMB AT GYPSUM BOARD WALLS SHALL BE LOCATED 4" MINIMUM FROM ADJACENT WALL UNLESS NOTED OTHERWISE.

G. PROVIDE FIRE TREATED WOOD BLOCKING (OR METAL STRAPPING WHERE INDICATED) WITHIN METAL STUD WALLS FOR WALL MOUNTED ITEMS.

H. REFER TO LIFE SAFETY PLANS REGARDING FIRE RATED WALL LOCATIONS AND OTHER CODE INFORMATION.

I. INTERIOR CMU WALLS ARE TO BE RUNNING BOND UNLESS NOTED OTHERWISE.

J. WHERE NEW CMU WALLS INTERSECT EXISTING CMU WALLS AT A CORNER OR ARE ALIGNED WITH EXISTING CMU WALLS, TOOTH NEW CMU INTO EXISTING CMU UNLESS NOTED OTHERWISE.

K. REFER TO DEMOLITION SHEETS FOR ADDITIONAL PATCHING AND REPAIR WORK.

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P. REFER TO A-140 FOR REFERENCE TO ENLARGED TOILET ROOM PLANS AND TOILET ACCESSORIES

Q. PREPARE ALL INTERIOR METAL WINDOW AND DOOR FRAMES FOR PAINT. KEYNOTES SHOWN ON DRAWING CALL OUT UNIQUE FRAMES. REFER TO SHEET A-810.

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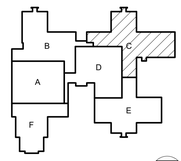
ARCHITECTURE · ENGINEERING · INTERIOR DESIGN

PROJECT:

BOONE GROVE HIGH SCHOOL RENOVATION AND RELATED WORK

PORTER TOWNSHIP SCHOOL CORPORATION

260 S 500 W
VALPARAISO, IN 46385



KEY PLAN

NORTH

100% CD DOCUMENTS

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PROJECT
24-143
DATE
Sept 15, 2025
COORDINATED BY
EJM
DRAWN BY
EJM CLN
CHECKED BY
JPB

JOSEPH P. BRIGGS REGISTERED NO. 11600109 STATE OF INDIANA ARCHITECT

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REVISIONS

MARK	DATE	ISSUED FOR
AD-3	10/16/25	ADDENDUM 3

DRAWING
UNIT "C" ARCHITECTURAL FIRST FLOOR PLAN

PROJECT
BOONE GROVE HIGH SCHOOL RENOVATION AND RELATED WORK

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C

SHEET
A-103

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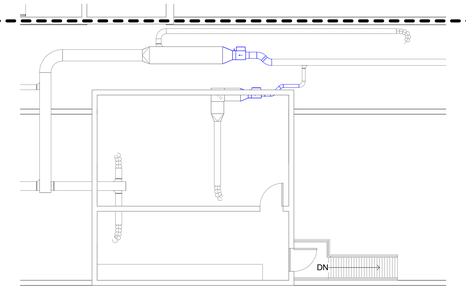
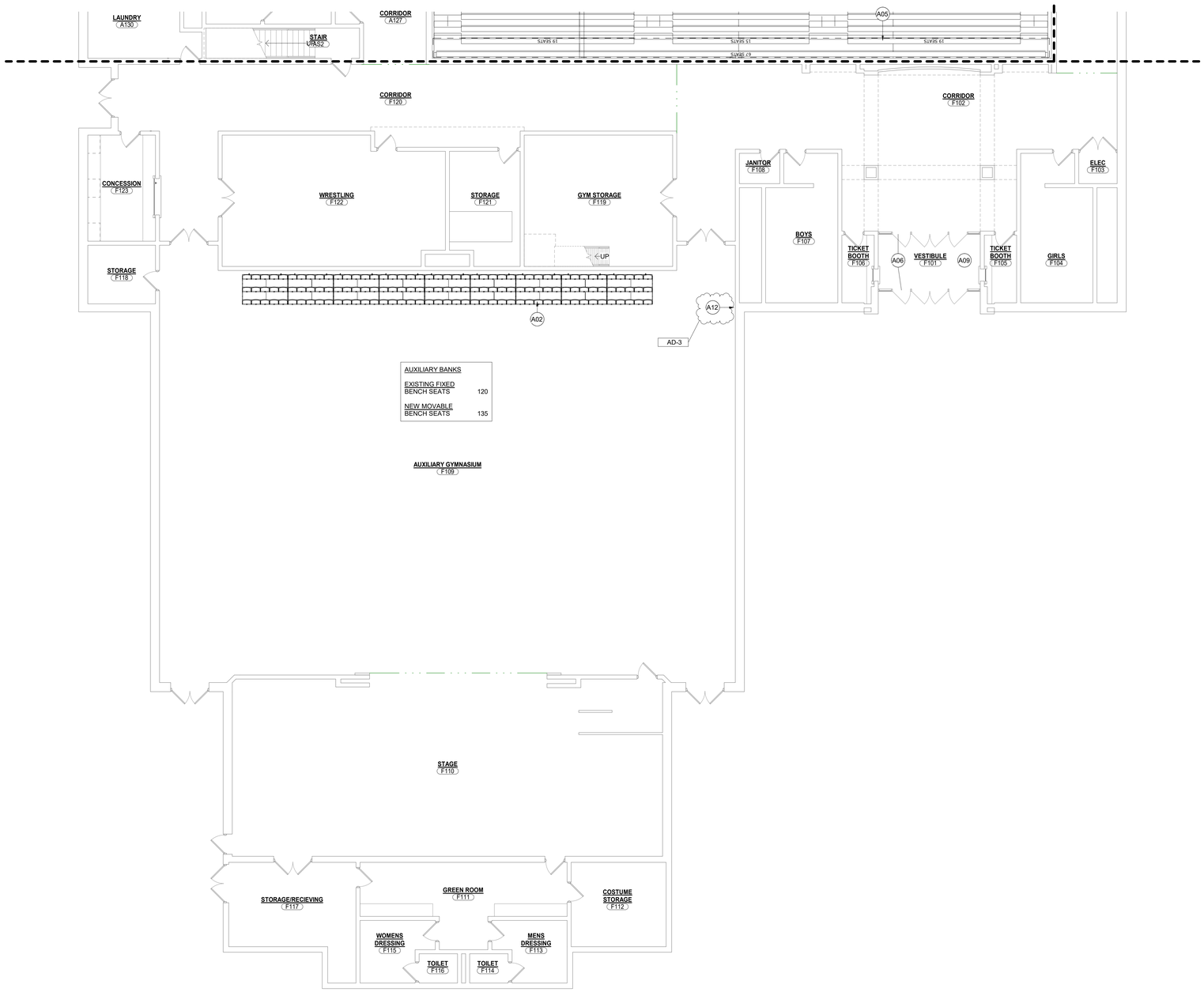


2 A-106 UNIT "F" ARCHITECTURAL FIRST FLOOR PLAN

1/8" = 1'-0"

NORTH



AUXILIARY BANKS	
EXISTING FIXED BENCH SEATS	120
NEW MOVABLE BENCH SEATS	135

1 A-106 UNIT "F" ARCHITECTURAL FIRST FLOOR PLAN

1/8" = 1'-0"

NORTH

ARCHITECTURAL PLAN KEYNOTES

A

A01 NEW PERMANENT BLEACHERS.

A02 NEW MOBILE BLEACHERS CONSISTING OF (9) INDIVIDUAL UNITS OF 3 ROW (15 TOTAL SEATS).

A03 PATCH FLOOR AND WALL WHERE WALLS WERE REMOVED.

A04 INFILL EXISTING WALL OPENING WITH NEW DOOR AND WALL CONSTRUCTION SIMILAR TO EXISTING WALL CONSTRUCTION (2 LAYERS OF 1/2" GYP EA SIDE OF 4" METAL STUDS). VERIFY WALL CONSTRUCTION

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A06 ALTERNATE BID - REINSTALL GLAZING IN ALUMINUM FRAME. PROVIDE NEW GASKETING IN CASES WHERE EXISTING GASKETING WAS DAMAGED DURING REMOVAL. REFER TO SHEET A-810.

A07 REFER TO SHEET A-810 FOR METAL FRAME PROFILE.

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A09 INFILL RECESSED FLOOR AREA WITH FLOOR LEVELER UP TO ADJACENT TERRAZZO LEVEL.

AD-3 A10 NEW TURN DOWN SLAB UNDER THE NEW GAS GENERATOR. APPROXIMATE SIZE IS 232"L x 65"W. REFER TO STRUCTURAL SHEETS.

A11 REPAIR LINTEL AT HEAD OF WINDOW. REFER TO STRUCTURAL SHEET S201.

A12 REPAIR CRACK IN MASONRY WALL. REFER TO STRUCTURAL SHEET S201.

A30 REBUILD MASONRY WALL FROM EXPANSION JOINT TO 2'-0" PAST WINDOW AND TOOTH INTO EXISTING.

A31 INSTALL SLAB LEVELER. REFER TO STRUCTURAL DRAWINGS.

GENERAL PLAN NOTES:

A. FOR GENERAL PROJECT NOTES, MATERIAL INDICATIONS LEGEND, SYMBOL LEGEND, ABBREVIATIONS, ETC., REFER TO G-SERIES SHEETS.

B. PLAN DIMENSIONS TO MASONRY WALLS ARE TO FACE OF ROUGH MASONRY. PLAN DIMENSIONS TO STUD WALLS ARE TO FACE OF FINISHED GYPSUM BOARD OR PLASTER. PLAN DIMENSIONS TO STUD WALLS WITH CERAMIC TILE FINISH ARE TO THE FACE OF TILE BACKER BOARD.

C. ALL CMU WALLS THAT DO NOT LAY OUT IN FULL OR HALF LENGTHS SHOULD BE BALANCED SO AS NOT TO HAVE ANY PIECES LESS THAN 4" IN SIZE EXPOSED TO VIEW.

D. MASONRY WALLS BEARING ON A THICKENED SLAB AT SLAB DEPRESSIONS REQUIRE CUT MASONRY UNITS SO THAT COURSING BEGINS AT THE FLOOR LINE.

E. THE BASE FIRST FLOOR ELEVATION INDICATED FOR THE PROJECT IS 100'-0". REFER TO SITE PLAN FOR CORRELATION TO USGS DATUM.

F. HINGE SIDE OF DOOR JAMB AT CMU WALLS SHALL BE LOCATED 8" MINIMUM FROM ADJACENT WALL AND HINGE SIDE OF DOOR JAMB AT GYPSUM BOARD WALLS SHALL BE LOCATED 4" MINIMUM FROM ADJACENT WALL UNLESS NOTED OTHERWISE.

G. PROVIDE FIRE TREATED WOOD BLOCKING (OR METAL STRAPPING WHERE INDICATED) WITHIN METAL STUD WALLS FOR WALL MOUNTED ITEMS.

H. REFER TO LIFE SAFETY PLANS REGARDING FIRE RATED WALL LOCATIONS AND OTHER CODE INFORMATION.

I. INTERIOR CMU WALLS ARE TO BE RUNNING BOND UNLESS NOTED OTHERWISE.

J. WHERE NEW CMU WALLS INTERSECT EXISTING CMU WALLS AT A CORNER OR ARE ALIGNED WITH EXISTING CMU WALLS, TOOTH NEW CMU INTO EXISTING CMU UNLESS NOTED OTHERWISE.

K. REFER TO DEMOLITION SHEETS FOR ADDITIONAL PATCHING AND REPAIR WORK.

L. ALL EXPOSED CONCRETE MASONRY UNITS (CMU) CORNERS ARE TO BE BULLNOSED, EXCEPT AT MASONRY BULKHEADS AND EXTERIOR WINDOW JAMBS.

M. PROVIDE SEALANT BETWEEN DISSIMILAR MATERIALS SUCH AS GYPSUM BOARD, MASONRY AND CONCRETE, COUNTERTOPS AND WALLS, ETC.

N. REFER TO FINISH PLANS FOR INTERIOR ELEVATIONS, LOCATION, AND EXTENT OF FINISHED FLOOR AND WALL MATERIAL.

O. REFER TO EQUIPMENT PLANS FOR CASEWORK, DISPLAY BOARDS, LOCKERS, AND OTHER ADDITIONAL TYPICAL EQUIPMENT NOTES AND INFORMATION.

P. REFER TO A-140 FOR REFERENCE TO ENLARGED TOILET ROOM PLANS AND TOILET ACCESSORIES

Q. PREPARE ALL INTERIOR METAL WINDOW AND DOOR FRAMES FOR PAINT. KEYNOTES SHOWN ON DRAWING CALL OUT UNIQUE FRAMES. REFER TO SHEET A-810.

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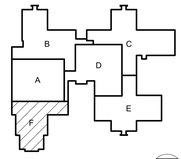
PROJECT:

BOONE GROVE HIGH SCHOOL RENOVATION AND RELATED WORK

PORTER TOWNSHIP SCHOOL CORPORATION

260 S 500 W
VALPARAISO, IN 46385



KEY PLAN

NORTH

100% CD DOCUMENTS

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PROJECT
24-143
DATE
Sept 15, 2025
COORDINATED BY
EJM
DRAWN BY
EJM CLN
CHECKED BY
JPB

JOSEPH P. BRIGGS
REGISTERED
NO. 11600109
STATE OF INDIANA
ARCHITECT

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REVISIONS

MARK	DATE	ISSUED FOR
AD-3	10/16/25	ADDENDUM 3

DRAWING
UNIT "F" ARCHITECTURAL FIRST & SECOND FLOOR PLANS

PROJECT
BOONE GROVE HIGH SCHOOL RENOVATION AND RELATED WORK

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F

SHEET
A-106

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FINISH LEGEND

AD-3

SURFACE	MARK	DESCRIPTION	MANUFACTURER	PATTERN/FINISH	NUMBER/COLOR	SIZE	COMMENTS
CEILING MATERIALS							
	ACT1	ACOUSTICAL CEILING TILE	ARMSTRONG CEILINGS	CIRRUS	WHITE (WH)	24" X 24"	SQUARE EDGE
	ACT2	ACOUSTICAL CEILING TILE	ARMSTRONG CEILINGS	CLEAN ROOM VL	WHITE (WH)	24" X 24"	SQUARE EDGE
	ACT3	ACOUSTICAL CEILING TILE	ARMSTRONG CEILINGS	CERAMAGUARD	WHITE (WH)	24" X 24"	SQUARE EDGE
	ACT4	ACOUSTICAL CEILING TILE	ARMSTRONG CEILINGS	ARMATUFF	WHITE (WH)	24" X 24"	SQUARE EDGE
	ACT5	ACOUSTICAL CEILING TILE	ARMSTRONG CEILINGS	ULTIMA HIGH NRC	WHITE (WH)	24" X 24"	SQUARE EDGE
	P7	PAINT	SHERWIN WILLIAMS	--	SW 7007 CEILING BRIGHT WHITE	--	--
WALL BASE & STAIRS							
	B1	VINYL WALL BASE	TARKETT	--	63 BURNT UMBER	4" COVE	
FLOOR MATERIALS							
	C1a	WALK-OFF CARPET TILE	TARKETT	02578 ABRASIVE ACTION II	19103 WINTER GRAY	24" X 24"	INSTALL: MONOLITHIC
	C1b	WALK-OFF CARPET TILE	J+J FLOORING	7268 CATWALK II	1427 SPOTLIGHT	24" X 24"	INSTALL: QUARTER TURN
	C2a	CARPET TILE	TARKETT	11769 CREATE PURPOSE	32811 INCLUSIVE	18" X 36"	INSTALL: VERTICAL ASHLAR
	C2b	CARPET TILE	J+J FLOORING	7503 BALANCE	3638 BALTIC	24" X 24"	INSTALL: ASHLAR
	C3a	CARPET TILE	TARKETT	03026 AFTERMATH II	23512 TAPESTRY	24" X 24"	INSTALL: QUARTER TURN
	C3b	CARPET TILE	J+J FLOORING	7311 INTRINSIC ACCENT	CUSTOM	24" X 24"	INSTALL: QUARTER TURN, SEE NOTE 1
	C4a	CARPET TILE	TARKETT	11770 CREATE BALANCE	32811 INCLUSIVE	18" X 36"	INSTALL: VERTICAL ASHLAR
	C4b	CARPET TILE	J+J FLOORING	7502 RHYTHM	3638 BALTIC	24" X 24"	INSTALL: ASHLAR
	C5a	ROLLED CARPET	TARKETT	03026 AFTERMATH II	32811 INCLUSIVE	6' W ROLLS	
	C5b	ROLLED CARPET	J+J FLOORING	7311 INTRINSIC ACCENT	CUSTOM	12' W ROLLS	
	LVT1	LUXURY VINYL TILE	MANNINGTON	ACTIVE LINES, CRISSCROSS	ALC101 FLASH	18" X 18"	INSTALL: OFFSET & STAGGERED, UNBEVELED EDGES
	LVT2	LUXURY VINYL TILE	MANNINGTON	ACTIVE LINES, BEND	ALB101 FLASH	18" X 18"	INSTALL: OFFSET & STAGGERED, UNBEVELED EDGES
	LVT3	LUXURY VINYL TILE	MANNINGTON	AMTICO SIGNATURE, ABSTRACT	AR0AMO22 MOSAIC SUMIRA	18" X 18"	INSTALL: OFFSET & STAGGERED, UNBEVELED EDGES
WALL MATERIALS							
	P1	PAINT	SHERWIN WILLIAMS	--	SW 6168 MODERNE WHITE	--	
	P2	PAINT	SHERWIN WILLIAMS	--	SW 7015 REPOSE GRAY	--	
	P3	PAINT	SHERWIN WILLIAMS	--	SW 7066 GRAY MATTERS	--	
	P4	PAINT	SHERWIN WILLIAMS	--	SW 9163 TIN LIZZIE	--	
	P5	PAINT	SHERWIN WILLIAMS	--	SW 7067 CITYSCAPE	--	DOOR, WINDOW, & STOREFRONT FRAMES
	P6	PAINT	ICI PAINTS DULUX	--	30BB 08/225 WILD WATER 1	--	LOCKERS, SEE NOTE 2
	P7	SEE CEILING MATERIALS	--	--	--	--	
	W1	WALL COATING	SHERWIN WILLIAMS	--	SW 6168 MODERNE WHITE	--	
	W2	WALL COATING	SHERWIN WILLIAMS	--	SW 7015 REPOSE GRAY	--	
	W3	WALL COATING	SHERWIN WILLIAMS	--	SW 7066 GRAY MATTERS	--	
	W4	WALL COATING	SHERWIN WILLIAMS	--	SW 9163 TIN LIZZIE		
	W5	NOT USED					
	W6	NOT USED					
	W7	NOT USED					
	W8	WALL COATING	SHERWIN WILLIAMS	--	MATCH EXISTING	--	
	WC1	WALL COVERING	MOMENTUM	HAYDEN	L2-HN-06 BROADCLOTH		
	GWC	GRAPHIC WALL COVERING	MDC	SUEDE	CUSTOM		FLEXIBLE SUBSTRATE
	GWP	GRAPHIC WALL PANEL	MDC	SINTRA	CUSTOM	4'-0" X 8'-0" X 1/2"	RIGID SUBSTRATE
	PWG1	PAINTED WALL GRAPHIC			CUSTOM		REFER TO SPECIFICATIONS
	PWG2	PAINTED WALL GRAPHIC			CUSTOM		REFER TO SPECIFICATIONS
	PWG3	PAINTED WALL GRAPHIC			CUSTOM		REFER TO SPECIFICATIONS
	PWG4	PAINTED WALL GRAPHIC			CUSTOM		REFER TO SPECIFICATIONS
CASEWORK & MILLWORK							
	PL1	PLASTIC LAMINATE	PIONITE	TEXTURED/SUEDE (TS)	AG611 GRAVE OF THE ATLANTIC		
	PL2	PLASTIC LAMINATE	WILSONART	FINE VELVET TEXTURE	4947-38 RAW COTTON		
MISCELLANEOUS							
	FW-AWP1	FABRIC-WRAPPED ACOUSTIC PANEL	MAYER FABRICS	EQUAL	EQ153 BALTIC		
	FW-AWP2	FABRIC-WRAPPED ACOUSTIC PANEL	MAYER FABRICS	EQUAL	EQ298 MEDIUM GRAY		
	BL	BLEACHER SEAT	HUSSEY SEATING	--	301 BLUE	--	
	WD	WOOD DOORS			MATCH EXISITNG		
	WDF	WOOD FLOOR FINISH	--	--	MATCH EXISTING	--	SEE NOTE 3

ETR = EXISTING TO REMAIN
NOTE 1: CUSTOM COLOR TO BE DEVELOPED THROUGH CARPET MANUFACTURER.
NOTE 2: LOCKERS TO BE ELECTROSTATICALLY PAINTED, EXTERIOR ONLY.
NOTE 3: SAND AND REFINISH EXISTING GYMNASIUM WOOD FLOOR WHERE BLEACHERS ARE REMOVED TO MATCH EXISTING. REFER TO DEMO AND FINISH PLANS.

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PROJECT:

BOONE GROVE HIGH SCHOOL RENOVATION AND RELATED WORK

PORTER TOWNSHIP SCHOOL CORPORATION

260 S 500 W
VALPARAISO, IN 46385

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PROJECT
24-143
DATE
Sept 15, 2025
COORDINATED BY
EJM
DRAWN BY
ACS
CHECKED BY
NAS

JOSEPH P. BRIGGS
REGISTERED
NO. 11600109
STATE OF INDIANA
ARCHITECT

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AD-3	10/16/25	ADDENDUM 3

DRAWING
FINISH LEGEND

PROJECT
BOONE GROVE HIGH SCHOOL RENOVATION AND RELATED WORK

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A-820

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REFLECTED CEILING PLAN KEYNOTES

C01 EXISTING CEILING SYSTEM TO REMAIN.
C02 PATCH AND PAINT GYPSUM BOARD SOFFIT / BULKHEAD AT INTERFACE WITH NEW CEILING SYSTEM, TYPICAL.
C03 PAINT EXTERIOR SOFFIT WITH EFS FINISH.
C04 NOT USED.
C05 PRIME AND PAINT LINTELS.
C06 OPEN TO STRUCTURE ABOVE.
C07 ADD STUD FRAMING AND GYPSUM BOARD TO FINISH OFF SOFFIT WHERE COLUMNS WERE REMOVED. PROVIDE EXPANSION JOINTS WHERE NEW GYPSUM MEETS EXISTING.

AD-3

GENERAL NOTES

A. FOR GENERAL PROJECT NOTES, MATERIAL INDICATIONS LEGEND, SYMBOL LEGEND, ABBREVIATIONS, ETC., REFER TO SHEET G-301.

B. THE ARCHITECTURAL REFLECTED CEILING PLANS GOVERN THE LAYOUT OF ALL CEILING ELEMENTS AND PENETRATIONS.

C. BULKHEAD FRAMING SHALL BE ATTACHED TO STRUCTURAL SUPPORTS AND NOT THE ROOF DECK.

D. REFER TO FLOOR PLANS FOR WALL TYPES.

E. REFER TO FIRE PROTECTION DRAWINGS FOR SPRINKLER HEAD TYPES AND QUANTITIES. HEADS HAVE INTENTIONALLY BEEN OMITTED FOR CLARITY.

F. CEILING ACCESS PANELS INDICATED ARE NOT INTENDED TO LIMIT NUMBER OF PANELS REQUIRED. PANEL QUANTITY SHALL BE SUFFICIENT TO PROVIDE REQUIRED ACCESS WHETHER OR NOT INDICATED ON THE DRAWINGS. VERIFY FINAL LOCATIONS WITH ARCHITECT PRIOR TO STARTING WORK.

G. REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE TYPE AND QUANTITIES.

H. REFER TO MECHANICAL DRAWINGS FOR DIFFUSERS, GRILL TYPES AND QUANTITIES - ALL MECHANICAL ITEMS MAY NOT BE INDICATED ON THIS SHEET.

I. REFER TO TECHNOLOGY DRAWINGS FOR ADDITIONAL CEILING MOUNTED TECHNOLOGY ITEMS.

J. REFER TO FINISH PLANS AND INTERIOR ELEVATIONS FOR PAINT COLORS.

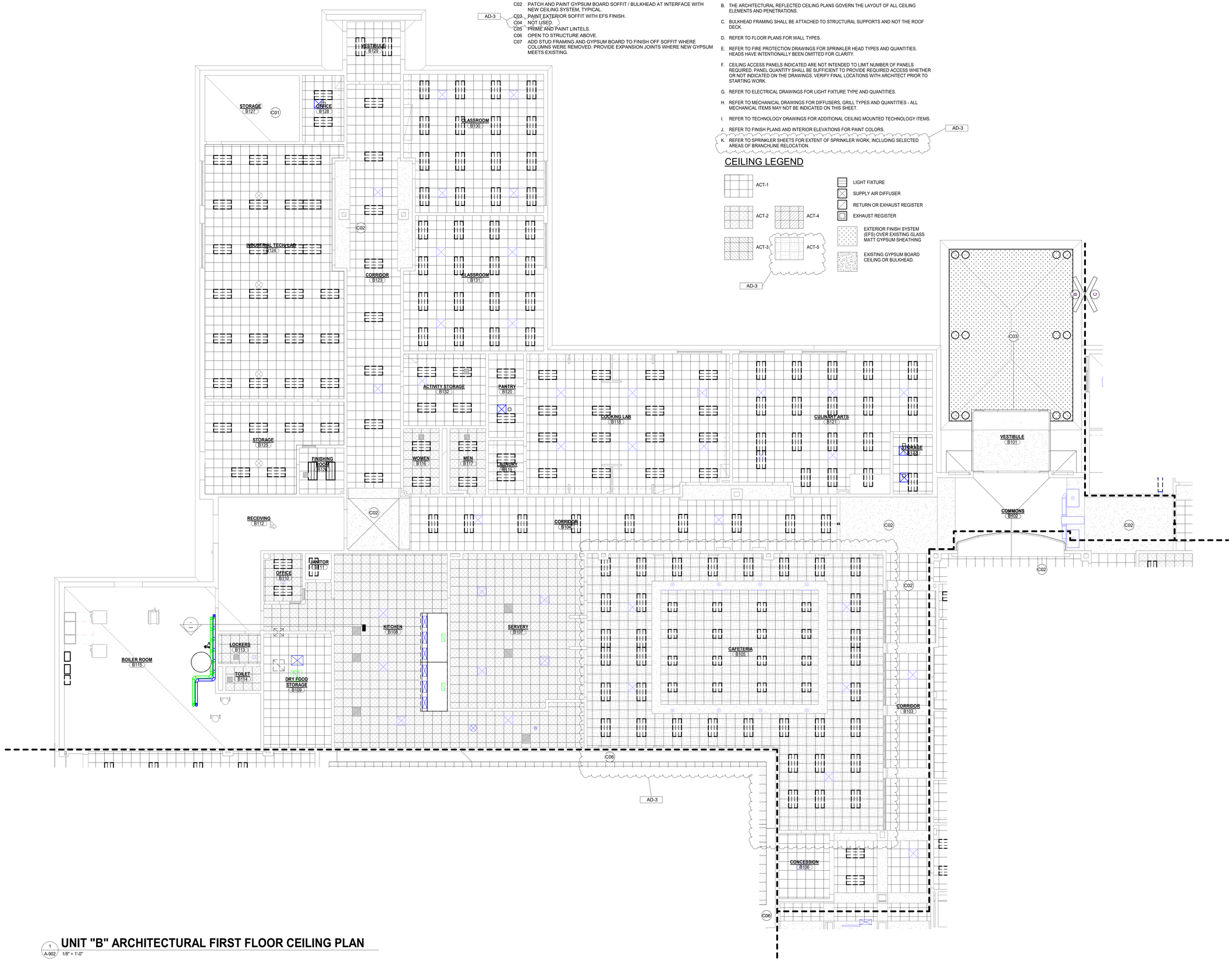
K. REFER TO SPRINKLER SHEETS FOR EXTENT OF SPRINKLER WORK, INCLUDING SELECTED AREAS OF BRANCHLINE RELOCATION.

AD-3

CEILING LEGEND

ACT-1
ACT-2
ACT-3
ACT-4
ACT-5
AD-3

LIGHT FIXTURE
SUPPLY AIR DIFFUSER
RETURN OR EXHAUST REGISTER
EXHAUST REGISTER
EXTERIOR FINISH SYSTEM (EFS) OVER EXISTING GLASS MATT GYPSUM SHEATHING
EXISTING GYPSUM BOARD CEILING OR BULKHEAD.



1 A-902 **UNIT "B" ARCHITECTURAL FIRST FLOOR CEILING PLAN**
1/8" = 1'-0"

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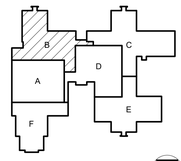
PROJECT:

BOONE GROVE HIGH SCHOOL RENOVATION AND RELATED WORK

PORTER TOWNSHIP SCHOOL CORPORATION
260 S 500 W
VALPARAISO, IN 46385



KEY PLAN
NORTH

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PROJECT
24-143
DATE
Sept 15, 2025
COORDINATED BY
EJM
DRAWN BY
EJM CLN
CHECKED BY
JPB

JOSEPH P. BRIGGS REGISTERED NO. 11600109 STATE OF INDIANA ARCHITECT

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AD-3	10/16/25	ADDENDUM 3

DRAWING
UNIT "B" ARCHITECTURAL FIRST FLOOR CEILING PLAN

PROJECT
BOONE GROVE HIGH SCHOOL RENOVATION AND RELATED WORK

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B

SHEET
A-902

REFLECTED CEILING PLAN KEYNOTES

C01 EXISTING CEILING SYSTEM TO REMAIN.
C02 PATCH AND PAINT GYPSUM BOARD SOFFIT / BULKHEAD AT INTERFACE WITH NEW CEILING SYSTEM. TYPICAL.
AD-3 C03 PAINT EXTERIOR SOFFIT WITH EFS FINISH.
C04 NOT USED.
C05 PRIME AND PAINT LINTELS.
C06 OPEN TO STRUCTURE ABOVE.
C07 ADD STUD FRAMING AND GYPSUM BOARD TO FINISH OFF SOFFIT WHERE COLUMNS WERE REMOVED. PROVIDE EXPANSION JOINTS WHERE NEW GYPSUM MEETS EXISTING.

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C. BULKHEAD FRAMING SHALL BE ATTACHED TO STRUCTURAL SUPPORTS AND NOT THE ROOF DECK.
D. REFER TO FLOOR PLANS FOR WALL TYPES.
E. REFER TO FIRE PROTECTION DRAWINGS FOR SPRINKLER HEAD TYPES AND QUANTITIES. HEADS HAVE INTENTIONALLY BEEN OMITTED FOR CLARITY.
F. CEILING ACCESS PANELS INDICATED ARE NOT INTENDED TO LIMIT NUMBER OF PANELS REQUIRED. PANEL QUANTITY SHALL BE SUFFICIENT TO PROVIDE REQUIRED ACCESS WHETHER OR NOT INDICATED ON THE DRAWINGS. VERIFY FINAL LOCATIONS WITH ARCHITECT PRIOR TO STARTING WORK.
G. REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE TYPE AND QUANTITIES.
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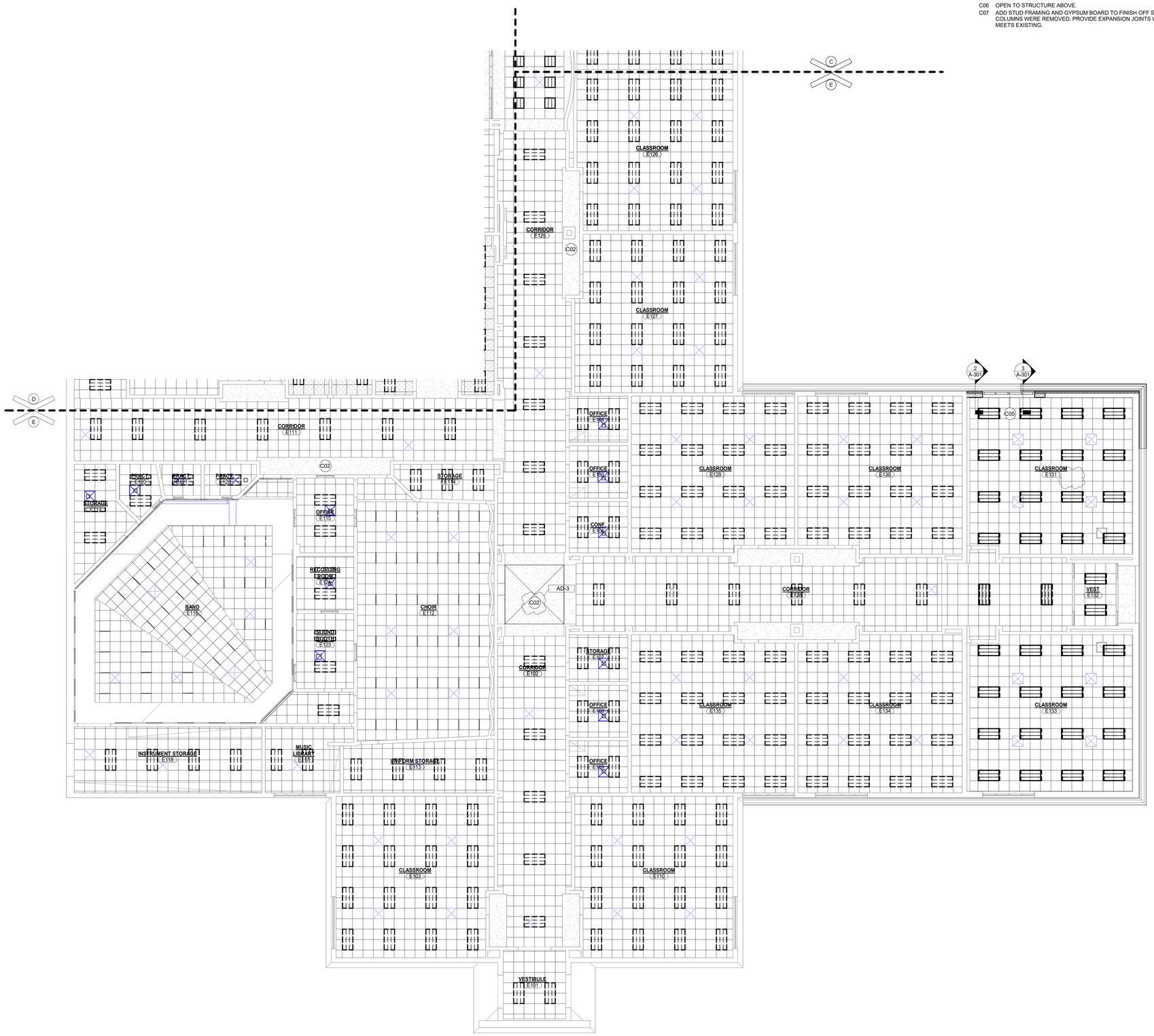
I. REFER TO TECHNOLOGY DRAWINGS FOR ADDITIONAL CEILING MOUNTED TECHNOLOGY ITEMS.
J. REFER TO FINISH PLANS AND INTERIOR ELEVATIONS FOR PAINT COLORS.
AD-3 K. REFER TO SPRINKLER SHEETS FOR EXTENT OF SPRINKLER WORK, INCLUDING SELECTED AREAS OF BRANCHLINE RELOCATION.

CEILING LEGEND

ACT-1
ACT-2
ACT-4
ACT-3
ACT-5
AD-3

LIGHT FIXTURE
SUPPLY AIR DIFFUSER
RETURN OR EXHAUST REGISTER
EXHAUST REGISTER
EXTERIOR FINISH SYSTEM (EFS) OVER EXISTING GLASS MATT GYPSUM SHEATHING
EXISTING GYPSUM BOARD CEILING OR BULKHEAD.



1 A-905 **UNIT "E" ARCHITECTURAL FIRST FLOOR CEILING PLAN**
1/8" = 1'-0"
NORTH

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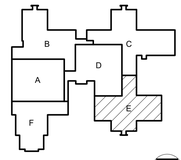
PORTER TOWNSHIP SCHOOL CORPORATION
260 S 500 W
VALPARAISO, IN 46385



KEY PLAN
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PROJECT
24-143
DATE
Sept 15, 2025
COORDINATED BY
EJM
DRAWN BY
EJM CLN
CHECKED BY
JPB

JOSEPH P. BRIGGS REGISTERED NO. 11600109 STATE OF INDIANA ARCHITECT

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DRAWING
UNIT "E" ARCHITECTURAL FIRST FLOOR CEILING PLAN

PROJECT
BOONE GROVE HIGH SCHOOL RENOVATION AND RELATED WORK

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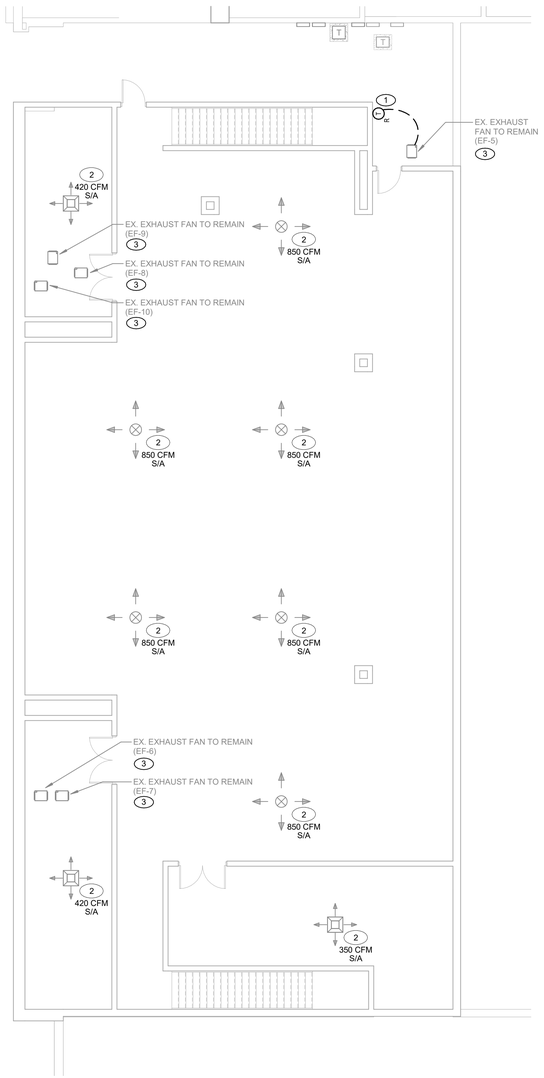
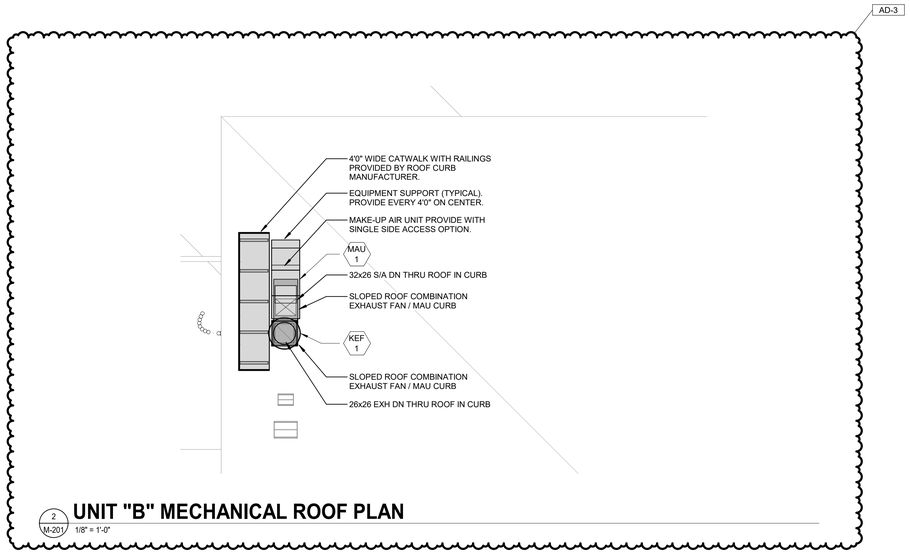
SHEET NOTES

1. PROVIDE NEW THERMOSTAT AND ASSOCIATED CONTROL WIRING, ETC. COMPLETE AS REQUIRED.
2. EXISTING SUPPLY AIR DIFFUSER TO REMAIN. INSPECT AND CLEAN EXISTING DIFFUSER COMPLETE AS REQUIRED. BALANCE EXISTING SUPPLY AIR DIFFUSER TO AIRFLOW QUANTITY INDICATED ON PLAN.
3. PROVIDE NEW DDC CONTROLS, WIRING, ETC. ON EXISTING EXHAUST FAN COMPLETE AS REQUIRED. PROGRAM SEQUENCE, SCHEDULE, AND ALARMS COMPLETE AS REQUIRED AND TEST OPERATION.



1 M-201 **UNIT "A" MECHANICAL MEZZANINE PLAN**
1/8" = 1'-0"

NORTH



2 M-201 **UNIT "B" MECHANICAL ROOF PLAN**
1/8" = 1'-0"

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PROJECT:

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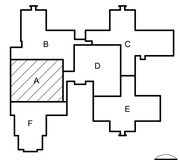

KEY PLAN

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PROJECT
24-143
DATE
Sept 15, 2025
COORDINATED BY
LvB
DRAWN BY
CC
CHECKED BY
DJ

DAVID G. JANNEY REGISTERED NO. 10302590 STATE OF INDIANA PROFESSIONAL ENGINEER

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REVISIONS

MARK	DATE	ISSUED FOR
AD-3	10/16/25	ADDENDUM NO. 3

DRAWING
UNIT "A" MECHANICAL MEZZANINE PLAN

PROJECT
BOONE GROVE HIGH SCHOOL RENOVATION AND RELATED WORK

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A

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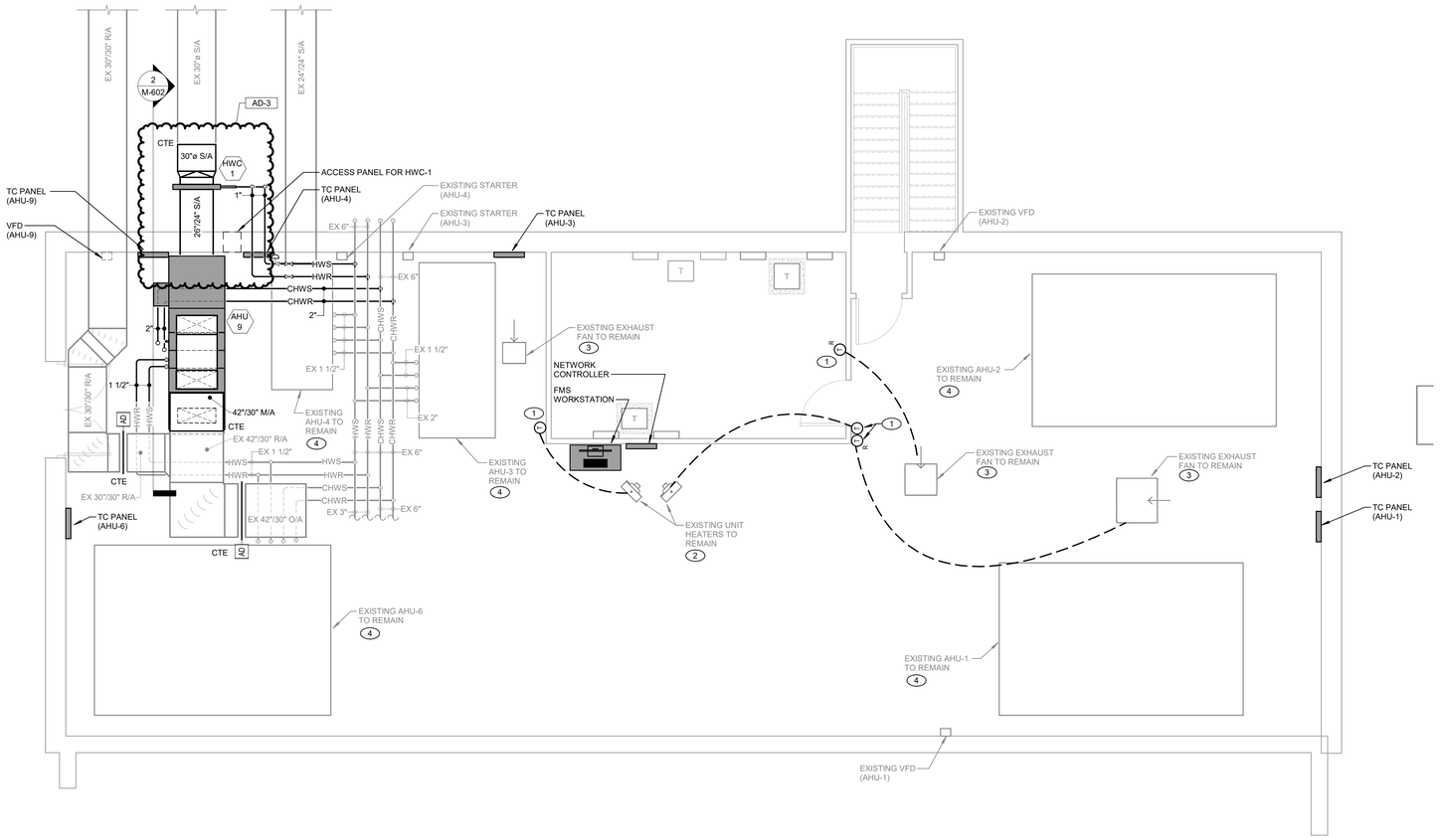
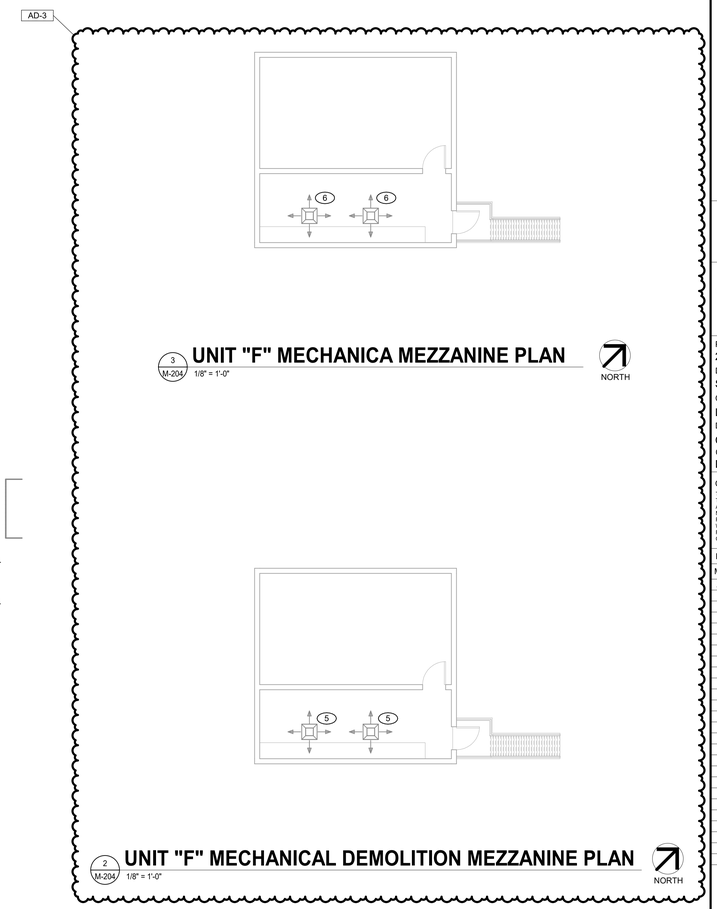
SHEET NOTES

1. PROVIDE NEW THERMOSTAT AND ASSOCIATED CONTROL WIRING, ETC. COMPLETE AS REQUIRED.
2. PROVIDE NEW HYDRONIC CONTROL VALVE AND ASSOCIATED CONTROL WIRING, ETC. COMPLETE AS REQUIRED. CONNECT NEW CONTROL VALVE TO ASSOCIATED HYDRONIC PIPING.
3. PROVIDE NEW DDC CONTROLS, WIRING, ETC. ON EXISTING EXHAUST FAN COMPLETE AS REQUIRED. PROGRAM SEQUENCE, SCHEDULE, AND ALARMS COMPLETE AS REQUIRED AND TEST OPERATION.
4. REPLACE EXISTING AIR HANDLING UNIT CONTROLS, COMPLETE AS REQUIRED.
   - PROVIDE NEW DDC ELECTRIC DAMPER ACTUATORS, WIRING, CONTROLS, ETC. COMPLETE AS REQUIRED.
   - PROVIDE NEW CONTROL VALVE ON HEATING COIL. PROVIDE NEW DDC HEATING COIL CONTROL VALVES, WIRING, CONTROLLER, ETC. COMPLETE AS REQUIRED.
   - PROVIDE NEW CONTROL VALVE ON COOLING COIL. PROVIDE NEW DDC COOLING COIL CONTROL VALVES, WIRING, CONTROLLER, ETC. COMPLETE AS REQUIRED.
   - PROVIDE ALL NEW SENSORS, RELAYS, CONTROL PANELS, ETC. COMPLETE AS REQUIRED.
   - PROVIDE NEW DDC CONTROLLER FOR EXISTING AIR HANDLING UNIT SYSTEM, EXHAUST RETURN FANS, ETC TO INTEGRATE INTO THE NEW FMS SYSTEM.
5. DISCONNECT AND REMOVE EXISTING SUPPLY AIR DIFFUSER FROM EXISTING LAYIN CEILING COMPLETE AS REQUIRED. INSPECT AND CLEAN EXISTING GRILLE COMPLETE AS REQUIRED.
6. EXISTING SUPPLY AIR DIFFUSER TO REMAIN. INSPECT AND CLEAN EXISTING DIFFUSER COMPLETE AS REQUIRED. BALANCE EXISTING SUPPLY AIR DIFFUSER TO AIRFLOW QUANTITY INDICATED ON PLAN.



1 M-204 **UNIT "D" MECHANICAL MEZZANINE PLAN**
1/4" = 1'-0"



3 M-204 **UNIT "F" MECHANICA MEZZANINE PLAN**
1/8" = 1'-0"

2 M-204 **UNIT "F" MECHANICAL DEMOLITION MEZZANINE PLAN**
1/8" = 1'-0"

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ARCHITECTURE · ENGINEERING · INTERIOR DESIGN

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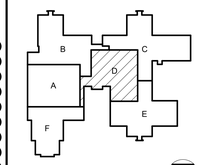
PROJECT:

BOONE GROVE HIGH SCHOOL RENOVATION AND RELATED WORK

PORTER TOWNSHIP SCHOOL CORPORATION
260 S 500 W
VALPARAISO, IN 46385



KEY PLAN
NORTH

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REVISIONS

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DRAWING
UNIT "D" & "F" MECHANICAL MEZZANINE PLAN

PROJECT
BOONE GROVE HIGH SCHOOL RENOVATION AND RELATED WORK

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MECHANICAL EQUIPMENT SCHEDULE

TAG	MANUFACTURER	MODEL	DESCRIPTION	EFFICIENCY	FAN MOTOR DATA CFM	FAN MOTOR DATA O.A.I. CFM	FAN MOTOR DATA TSP	FAN MOTOR DATA ESP	FAN MOTOR DATA BHP	FAN MOTOR DATA HP	FAN MOTOR DATA RPM	EXHAUST FANS CFM	EXHAUST FANS ESP	EXHAUST FANS BHP	EXHAUST FANS HP	EXHAUST FANS RPM
AHU-9	TRANE	CSAA006	SUSPENDED AIR HANDELING UNIT		3410	900	8.5		7.3	7.5	3600					
MAU-1	GREENHECK	DGX-P118-H12-D1-8	ROOF MOUNTED GAS FIRED MAKEUP AIR UNIT		4334	4334	1.8	1		3	1725					
H-1	GREENHECK	GHEW-264.00-S	KITCHEN EXHAUST HOOD									4334				
KEF-1	GREENHECK	CUE-200-VG	ROOF MOUNTED KITCHEN EXHAUST FAN									4334	1.5	2.06	3	1350
CU-1	MITSUBISHI	TRUYA0241HA70NA	GRADE MOUNTED CONDENSING UNIT	21.4 SEER												
AC-1	MITSUBISHI	TPKA0A0241KA70A	WALL MOUNTED COOLING UNIT		635											

TAG	GAS FIRED HEATING MBH (IN)	GAS FIRED HEATING MBH (OUT)	GAS FIRED HEATING EAT	GAS FIRED HEATING LAT	GAS FIRED HEATING STAGES	CHW MBH	CHW SHC	CHW GPM	CHW EDB	CHW EWB	CHW LDB	CHW LWB	CHW EWT	CHW LWT	CHW MAX APD	CHW WPD	CHW CAT	HW CFM	HW MBH (IN)	HW MBH (OUT)	HW GPM	HW EAT	HW LAT	HW EWT	HW LWT	HW MAX APD	HW MAX WPD
AHU-9						142.87	98.45	28.47	79.2	66.5	53	52.63	45	55			95	3410 CFM		110.57	11.08	50.1	80	140	120		
MAU-1	376.5	346.4	-4	70																							
H-1																											
KEF-1																											
CU-1																											
AC-1																											

TAG	ELECTRICAL LOAD HP	ELECTRICAL LOAD MCA	ELECTRICAL LOAD FLA	ELECTRICAL LOAD MOCP	VOLT	PHASE	HZ	STARTER PROV. BY: M.C.	STARTER PROV. BY: E.C.	UNITS CONTROLLED BY	EQUIPMENT WEIGHT	REMARKS
AHU-9		14		20	480	3	60	X		TSTAT	1550	NOTE 1
MAU-1		6		15	480	3	60	X		INTERLOCK TO H-1	1558	NOTE 2
H-1				15	120	1	60	X		HOOD SWITCH	800	NOTE 3
KEF-1			4.3	15	480	3	60	X		INTERLOCK TO H-1	250	NOTE 4
CU-1		19		25	208	1	60	X		INTERLOCK TO AC-1	151	NOTE 5
AC-1					208	1	60	X		TSTAT	46	NOTE 6

NOTE 1:
SEE SECTIONS FOR MODULAR SECTION REQUIREMENTS.
SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

PROVIDE WITH REHEAT COIL DOWNSTREAM OF UNIT DISCHARGE. NOMINAL COIL HEIGHT 24". NOMINAL COIL WIDTH: 26". COIL SHALL PROVIDE 55.5 MBH OF CAPACITY ON 3410 CFM, 55 F TO 70 F AIR TEMPERATURE RISE, 140 F TO 120 F WATER TEMPERATURE DROP AT 5.6 GPM.
DISCHARGE OPENING OF AHU SHALL MATCH REHEAT COIL SIZE FOR STRAIGHT DUCT CONNECTION. REHEAT COIL SHALL BE EQUIVALENT TO TRANE MODEL NUMBER D5WB24026.

NOTE 2:
PROVIDE WITH:
- WEATHER HOOD, BURNER, AND FAN SECTIONS.
- WEATHER HOOD WITH ALUMINUM MESH FILTERS.
- SINGLE SIDE ACCESS
- HINGED ACCESS DOORS
- 25:1 TURNDOWN
- DISCHARGE TEMPERATURE CONTROLS
- DISCONNECT SWITCH

SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

NOTE 3:
PROVIDE WITH:
- ANSUL SYSTEM AND CONTROL PANEL
- LIGHT & FAN SWITCH
- SKIRTING ABOVE HOOD INTO CEILING SPACE AS REQUIRED
- SKIRTING FINISH SHALL MATCH HOOD FINISH

SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

NOTE 4:
PROVIDE WITH:
- DISCONNECT SWITCH
- BIRD SCREEN
- OUT OF AIR STREAM MOTOR w/ ENCLOSURE
- PIANO HINGES
- SAFETY RETAINER CHAIN
- VENTILATED ROOF CURB

SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

NOTE 5:
PROVIDE WITH:
- LOW AMBIENT CONTROLS FOR 100% COOLING CAPACITY DOWN TO -10°F
- WIND BAFFLES
- HAIL GUARDS
- CONCRETE EQUIPMENT PAD

SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

NOTE 6:
PROVIDE WITH:
- WIRED THERMOSTAT
- CONDENSATE PUMP

SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

AD-3

MECHANICAL EQUIPMENT SCHEDULE - PUMPS

TAG	MANUFACTURER	MODEL	DESCRIPTION	GPM	HEAD (FT.)	PUMP MOTOR DATA HP	PUMP MOTOR DATA RPM	PUMP MOTOR DATA VOLT	PUMP MOTOR DATA PHASE	PUMP MOTOR DATA HZ	STARTER PROV. BY: M.C.	STARTER PROV. BY: E.C.	SUCTION/ DISCHARGE SIZE	REMARKS
P-1	BELL & GOSSET	1510: 2AD	HOT WATER BASE MOUNTED END SUCTION PUMP	285	90	15	1750	480	3	60	X		2½" / 2"	PROVIDE WITH BELL & GOSSET EC-3X SUCTION DIFFUSER AND BELL & GOSSETT 3D-4S TRIPPLE DUTY VALVE
P-2	BELL & GOSSET	1510: 2AD	HOT WATER BASE MOUNTED END SUCTION PUMP	285	90	15	1750	480	3	60	X		2½" / 2"	PROVIDE WITH BELL & GOSSET EC-3X SUCTION DIFFUSER AND BELL & GOSSETT 3D-4S TRIPPLE DUTY VALVE
P-3	BELL & GOSSET	1510: 3AD	HOT WATER BASE MOUNTED END SUCTION PUMP	285	40	5	1750	480	3	60	X		4" / 3"	PROVIDE WITH BELL & GOSSET EE-3X SUCTION DIFFUSER AND BELL & GOSSETT 3D-4S TRIPPLE DUTY VALVE
P-4	BELL & GOSSET	1510: 3AD	HOT WATER BASE MOUNTED END SUCTION PUMP	285	40	5	1750	480	3	60	X		4" / 3"	PROVIDE WITH BELL & GOSSET EE-3X SUCTION DIFFUSER AND BELL & GOSSETT 3D-4S TRIPPLE DUTY VALVE
P-7	BELL & GOSSET	1510: 3BD	COLD WATER BASE MOUNTED END SUCTION PUMP	350	80	15	1750	480	3	60	X		4" / 3"	PROVIDE WITH BELL & GOSSET GE-3X SUCTION DIFFUSER AND BELL & GOSSETT 3D-4S TRIPPLE DUTY VALVE
P-8	BELL & GOSSET	1510: 3BD	COLD WATER BASE MOUNTED END SUCTION PUMP	350	80	15	1750	480	3	60	X		4" / 3"	PROVIDE WITH BELL & GOSSET GE-3X SUCTION DIFFUSER AND BELL & GOSSETT 3D-4S TRIPPLE DUTY VALVE
P-9	BELL & GOSSET	1510: 4BD	COLD WATER BASE MOUNTED END SUCTION PUMP	700	40	10	1750	480	3	60	X		5" / 4"	PROVIDE WITH BELL & GOSSET GF-3X SUCTION DIFFUSER AND BELL & GOSSETT 3D-6S TRIPPLE DUTY VALVE
P-10	BELL & GOSSET	1510: 4BD	COLD WATER BASE MOUNTED END SUCTION PUMP	700	40	10	1750	480	3	60	X		5" / 4"	PROVIDE WITH BELL & GOSSET GF-3X SUCTION DIFFUSER AND BELL & GOSSETT 3D-6S TRIPPLE DUTY VALVE

EX. AHU-2 VAV TERMINAL SCHEDULE

TAG	MANUFACTURER	MODEL	INLET DIA.	CFM SETTING MAX. CFM	CFM SETTING MIN. CFM	HW REHEAT COIL DATA MBH	GPM	WPD	EWT	CONTROL SEQUENCE OPEN/ CLOSED	CONTROL SEQUENCE OPEN/CLOSED/ OPEN	REMARKS
2-1	NAILOR	D30RW-10	10"	960	285	31.2	3.1	5'	180	-	X	-
2-2	NAILOR	D30RW-10	10"	960	285	31.2	3.1	5'	180	-	X	-
2-3	NAILOR	D30RW-10	10"	1,125	330	36.6	3.7	5'	180	-	X	-
2-4	NAILOR	D30RW-10	10"	1,050	310	34.2	3.4	5'	180	-	X	-
2-5	NAILOR	D30RW-10	10"	840	245	27.3	2.7	5'	180	-	X	-
2-6	NAILOR	D30RW-10	10"	1,110	325	36.1	3.6	5'	180	-	X	-
2-7	NAILOR	D30RW-06	6"	340	100	9.2	0.9	5'	180	X	-	-
2-8	NAILOR	D30RW-10	10"	960	285	31.2	3.1	5'	180	-	X	-
2-9	NAILOR	D30RW-10	10"	965	285	31.4	3.1	5'	180	-	X	-
2-10	NAILOR	D30RW-10	10"	925	270	30.1	3.0	5'	180	-	X	-
2-11	NAILOR	D30RW-10	10"	875	260	28.5	2.8	5'	180	-	X	-
2-12	NAILOR	D30RW-05	5"	175	50	4.7	0.5	5'	180	X	-	-
2-13	NAILOR	D30RW-12	12"	1,385	410	45.1	4.5	5'	180	-	X	-
2-14	NAILOR	D30RW-10	10"	835	245	27.2	2.7	5'	180	-	X	-
2-15	NAILOR	D30RW-10	10"	840	245	27.3	2.7	5'	180	-	X	-
2-16	NAILOR	D30RW-06	6"	300	90	8.1	0.8	5'	180	X	-	-
2-17	NAILOR	D30RW-10	10"	830	245	27.0	2.7	5'	180	-	X	-
2-18	NAILOR	D30RW-10	10"	900	265	24.4	2.4	5'	180	X	-	-
2-19	NAILOR	D30RW-10	10"	840	245	22.8	2.3	5'	180	X	-	-
2-20	NAILOR	D30RW-10	10"	1,040	305	28.2	2.8	5'	180	X	-	-
2-21	NAILOR	D30RW-08	8"	735	215	19.9	2.0	5'	180	X	-	-
2-22	NAILOR	D30RW-08	8"	600	175	16.3	1.6	5'	180	X	-	-
2-23	NAILOR	D30RW-05	5"	200	60	5.4	0.5	5'	180	X	-	-
2-24	NAILOR	D30RW-12	12"	1,310	385	42.6	4.3	5'	180	-	X	-
2-25	NAILOR	D30RW-12	12"	1,435	425	46.7	4.7	5'	180	-	X	-
2-26	NAILOR	D30RW-05	5"	215	65	5.8	0.6	5'	180	X	-	-
2-27	NAILOR	D30RW-10	10"	960	285	31.2	3.1	5'	180	-	X	-
2-28	NAILOR	D30RW-10	10"	915	270	29.8	3.0	5'	180	-	X	-
2-29	NAILOR	D30RW-05	5"	150	45	4.9	0.5	5'	180	-	X	-
2-30	NAILOR	D30RW-06	6"	300	90	8.1	0.8	5'	180	X	-	-
2-31	NAILOR	D30RW-06	6"	300	90	8.1	0.8	5'	180	X	-	-
2-32	NAILOR	D30RW-07	7"	450	135	14.6	1.5	5'	180	-	X	-
2-33	NAILOR	D30RW-06	6"	300	90	8.1	0.8	5'	180	X	-	-
2-34	NAILOR	D30RW-06	6"	300	90	9.8	1.0	5'	180	-	X	-
2-35	NAILOR	D30RW-06	6"	300	90	8.1	0.8	5'	180	X	-	-
2-36	NAILOR	D30RW-12	12"	1,400	410	45.6	4.6	5'	180	-	X	-
2-37	NAILOR	D30RW-12	12"	1,400	410	45.6	4.6	5'	180	-	X	-

EX. AHU-1 VAV TERMINAL SCHEDULE

TAG	MANUFACTURER	MODEL	INLET DIA.	CFM SETTING MAX CFM	CFM SETTING MIN CFM	HW REHEAT COIL DATA MBH	GPM	WPD	EWT	CONTROL SEQUENCE OPEN/ CLOSED	CONTROL SEQUENCE OPEN/CLOSED/ OPEN	REMARKS
1-1	NAILOR	D30RW-10	10"	1,045	360	34.0	3.4	5'	180	-	X	-
1-2	NAILOR	D30RW-08	8"	760	260	24.7	2.5	5'	180	-	X	-
1-3	NAILOR	D30RW-10	10"	995	340	32.4	3.2	5'	180	-	X	-
1-4	NAILOR	D30RW-10	10"	995	340	32.4	3.2	5'	180	-	X	-
1-5	NAILOR	D30RW-10	10"	885	305	28.8	2.9	5'	180	-	X	-
1-6	NAILOR	D30RW-10	10"	825	285	26.9	2.7	5'	180	-	X	-
1-7	NAILOR	D30RW-08	8"	625	215	20.3	2.0	5'	180	-	X	-
1-8	NAILOR	D30RW-05	5"	250	85	6.8	0.7	5'	180	X	-	-
1-9	NAILOR	D30RW-05	5"	280	95	7.6	0.8	5'	180	X	-	-
1-10	NAILOR	D30RW-10	10"	970	335	31.6	3.2	5'	180	-	X	-
1-11	NAILOR	D30RW-10	10"	970	335	31.6	3.2	5'	180	-	X	-
1-12	NAILOR	D30RW-10	10"	1,200	410	32.6	3.3	5'	180	X	-	-
1-13	NAILOR	D30RW-06	6"	325	110	8.8	0.9	5'	180	X	-	-
1-14	NAILOR	D30RW-12	12"	1,530	525	49.8	5.0	5'	180	-	X	-
1-15	NAILOR	D30RW-06	6"	300	105	8.1	0.8	5'	180	X	-	-
1-16	NAILOR	D30RW-06	6"	300	105	8.1	0.8	5'	180	X	-	-
1-17	NAILOR	D30RW-07	7"	550	190	14.9	1.5	5'	180	X	-	-
1-18	NAILOR	D30RW-06	6"	300	105	8.1	0.8	5'	180	X	-	-
1-19	NAILOR	D30RW-08	8"	800	275	21.7	2.2	5'	180	X	-	-
1-20	NAILOR	D30RW-06	6"	300	105	9.8	1.0	5'	180	-	X	-
1-21	NAILOR	D30RW-12	12"	1,800	620	58.6	5.9	5'	180	-	X	-
1-22	NAILOR	D30RW-12	12"	1,800	620	58.6	5.9	5'	180	-	X	-
1-23	NAILOR	D30RW-08	8"	750	255	24.4	2.4	5'	180	-	X	-
1-24	NAILOR	D30RW-08	8"	600	205	19.5	2.0	5'	180	-	X	-
1-25	NAILOR	D30RW-12	12"	1,640	565	44.5	4.4	5'	180	X	-	-
1-26	NAILOR	D30RW-05	5"	200	70	5.4	0.5	5'	180	X	-	-
1-27	NAILOR	D30RW-06	6"	300	105	8.1	0.8	5'	180	X	-	-
1-28	NAILOR	D30RW-10	10"	1,100	380	29.8	3.0	5'	180	X	-	-
1-29	NAILOR	D30RW-10	10"	1,000	345	27.1	2.7	5'	180	X	-	-

EX. AHU-3 VAV TERMINAL SCHEDULE

TAG	MANUFACTURER	MODEL	INLET DIA.	CFM SETTING MAX CFM	CFM SETTING MIN CFM	HW REHEAT COIL DATA MBH	GPM	WPD	EWT	CONTROL SEQUENCE OPEN/ CLOSED	CONTROL SEQUENCE OPEN/CLOSED/ OPEN	REMARKS
3-2	NAILOR	D30RW-12	12"	1,545	260	50.3	5.0	5'	180	-	X	-
3-3	NAILOR	D30RW-12	12"	1,470	245	47.8	4.8	5'	180	-	X	-
3-4	NAILOR	D30RW-07	7"	425	70	13.8	1.4	5'	180	-	X	-
3-5	NAILOR	D30RW-05	5"	220	35	6.0	0.6	5'	180	X	-	-
3-6	NAILOR	D30RW-07	7"	415	70	11.3	1.1	5'	180	X	-	-
3-7	NAILOR	D30RW-05	5"	275	45	7.5	0.7	5'	180	X	-	-
3-8	NAILOR	D30RW-05	5"	260	45	7.1	0.7	5'	180	X	-	-
3-9	NAILOR	D30RW-07	7"	425	70	11.5	1.2	5'	180	X	-	-
3-10	NAILOR	D30RW-07	7"	425	70	11.5	1.2	5'	180	X	-	-
3-11	NAILOR	D30RW-08	8"	620	105	16.8	1.7	5'	180	X	-	-

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Sept 15, 2025
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REVISIONS

MARK	DATE	ISSUED FOR
AD-3	10/16/25	ADDENDUM NO. 3

DRAWING
MECHANICAL SCHEDULES

PROJECT
BOONE GROVE HIGH SCHOOL RENOVATION AND RELATED WORK

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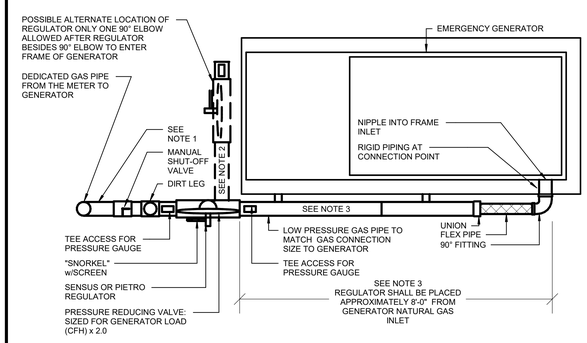
TYPICAL GAS PIPING PLAN AT GENERATOR DETAIL

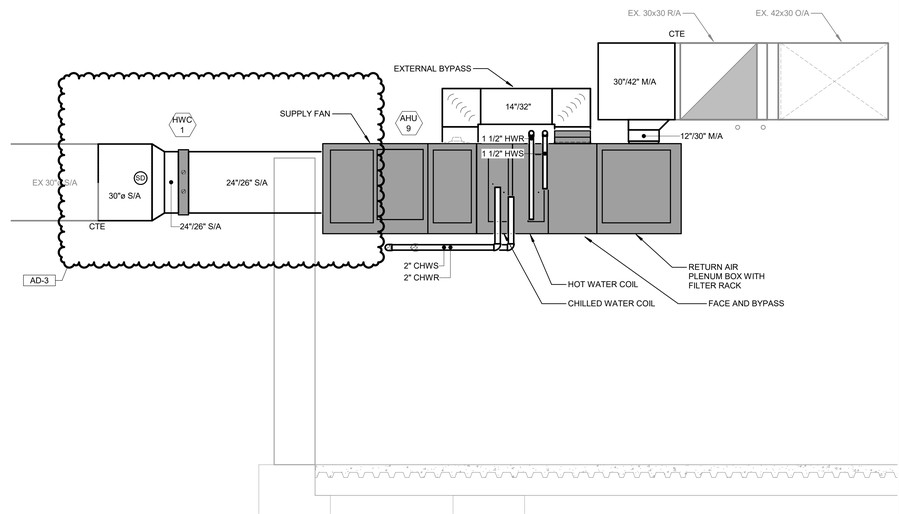
(NTS)



NOTES:

1. HIGH PRESSURE PIPING (UPSTREAM OF REGULATOR)
   - GAS METER AND PRIMARY REGULATOR MUST MEET THE PRESSURE AND FLOW REQUIREMENTS OF BUILDING LOADS INCLUDING THE GENERATOR AT 100% LOAD.
   - HIGH PRESSURE GAS PIPING SHALL BE FIRST-IN-LINE OFF THE UTILITY GAS METER AND BE A DESIGNATED GAS PIPING FEED DIRECTLY INTO THE GENERATOR PRIMARY REGULATOR. NO OTHER EQUIPMENT SHALL BE FED FROM THE DESIGNATED GENERATOR GAS PIPING FEED.
   - LENGTH OF PIPE ENTERING REGULATOR SHALL BE A MINIMUM 3-5 TIMES PIPE DIAMETER.
2. GAS REGULATOR:
   - SELECT A DIRECT ACTING REGULATOR THAT WILL DELIVER APPROXIMATELY 2.0 TIMES THE MAXIMUM GAS FLOW REQUIRED BY THE GENERATOR WITH 1"-2" WC PRESSURE DROP AT THE EXPECTED NOMINAL UPSTREAM AND DOWNSTREAM GAS PRESSURES.
   - THE DIAMETER OF THE REGULATOR OUTLET MUST NOT BE MORE THAN ONE NOMINAL SIZE SMALLER THAN THE DIAMETER OF THE LOW PRESSURE PIPING IMMEDIATELY DOWNSTREAM OF THE REGULATOR.
   - REGULATOR SHALL BE PLACED APPROXIMATELY 8' FROM GENERATOR NATURAL GAS INLET.
   - GENERATOR PRIMARY REGULATOR SHALL BE MANUFACTURER BY SENSUS OR PIETRO WITH INTERNAL REGISTRATION AND POSITIVE LOCK OUT FEATURE TO PREVENT GAS CREEP.
   - GENERATOR REGULATOR SHALL BE SIZED TO SUPPLY THE MINIMUM RECOMMENDED FLOW (2 X 100% SCFH LOAD CONSUMPTION)
3. LOW PRESSURE PIPING (DOWNSTREAM OF REGULATOR):
   - LENGTH OF PIPE EXITING REGULATOR SHALL BE A MINIMUM 8-10 TIMES PIPE DIAMETER BEFORE ANY ELBOW.
   - LOW PRESSURE PIPE SIZING SHALL ALLOW NO MORE THAN 0.5" WC PRESSURE DROP BETWEEN REGULATOR & GENERATOR.
   - PROVIDE APPROXIMATELY 8 FEET OF PIPE BETWEEN THE REGULATOR & GENERATOR. FOR INSTALLATIONS WHERE IT IS IMPRACTICAL, COUPLING UP TO LARGER DIAMETER PIPE IS A PRACTICAL METHOD TO INCREASE GAS VOLUME BETWEEN REGULATOR & GENERATOR.
   - THE FLEXIBLE FUEL LINE SHALL BE STRAIGHT AS POSSIBLE. IT IS NOT INTENDED TO CORRECT MISALIGNED PIPE SECTIONS OR TO SERVE AS AN ELBOW.
4. GENERATOR WATER COLUMN & PRESSURE REGULATOR REQUIREMENT:
   - IF GENERATOR WATER COLUMN REQUIREMENT RANGE IS 7"-11" W.C. SET STATIC PRESSURE OF REGULATOR AT 11" W.C.
   - IF GENERATOR WATER COLUMN REQUIREMENT RANGE IS 11"-14" W.C. SET STATIC PRESSURE OF REGULATOR AT 14" W.C.
   - IF GENERATOR WATER COLUMN REQUIREMENT RANGE IS 16"-20" W.C. SET STATIC PRESSURE OF REGULATOR AT 20" W.C.
5. FOLLOW ALL INTERNATIONAL FUEL GAS CODE (IFGC) RECOMMENDATIONS FOR PIPING.
6. ALL PIPING SHALL BE SCHEDULE 40
7. ALL FITTINGS SHALL BE MALLEABLE IRON.

AHU-9 SECTION



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PROJECT:

BOONE GROVE HIGH SCHOOL RENOVATION AND RELATED WORK

PORTER TOWNSHIP SCHOOL CORPORATION

260 S 500 W
VALPARAISO, IN 46385

100% CONSTRUCTION SET

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REVISIONS

MARK	DATE	ISSUED FOR
AD-1	10/02/25	ADDENDUM NO. 1
AD-3	10/16/25	ADDENDUM NO. 3

DRAWING
MECHANICAL DETAILS & DIAGRAMS

PROJECT
BOONE GROVE HIGH SCHOOL RENOVATION AND RELATED WORK

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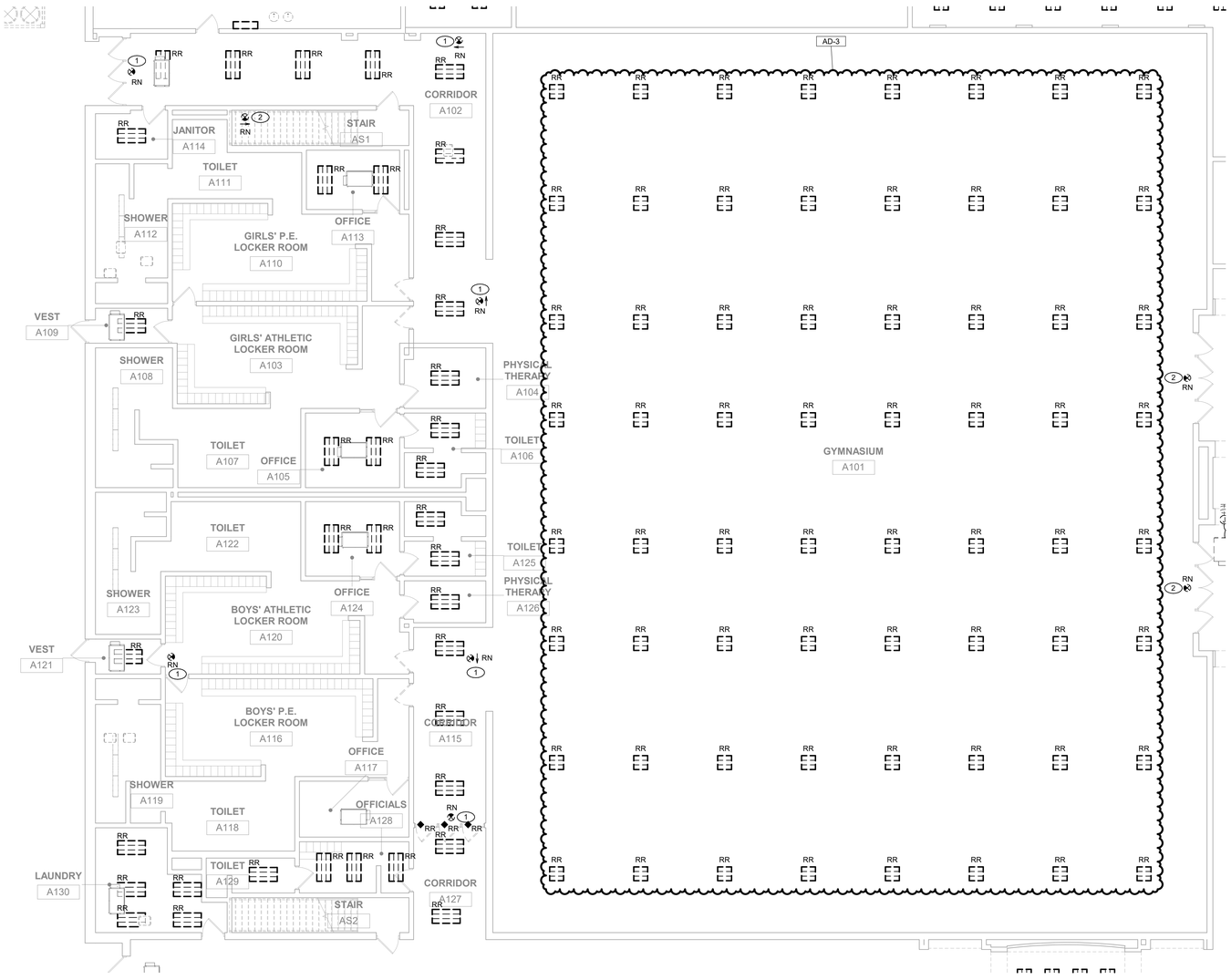
GENERAL NOTES

1. EXISTING LIGHTING TO BE REMOVED IN AREAS OF CEILING REPLACEMENT. WHERE NECESSARY TO PERFORM MECHANICAL WORK ABOVE EXISTING CEILINGS, REMOVE, STORE, AND REINSTALL EXISTING LIGHTS, MOTION SENSORS, FIRE ALARM DEVICES, AND ANY OTHER CEILING MOUNTED ELECTRICAL DEVICES AS REQUIRED. REVIEW THE ENTIRE SET OF CONTRACT DOCUMENTS IN ORDER TO FULLY UNDERSTAND AND INCLUDE CEILING WORK NECESSARY FOR WORK ON THE PROJECT. WHEN THE WORK IS COMPLETED IN THE SPACE, REINSTALL EXISTING DEVICES AND EQUIPMENT TO COMPLETE MATCH EXISTING CONDITIONS. REPAIR OR REPLACE ANY DAMAGED EQUIPMENT OR DEVICES CAUSED BY THE REMOVAL, STORAGE, AND REINSTALLATION.

SHEET NOTES

1. DISCONNECT AND REMOVE EXISTING EXIT SIGNS (LABELED AND SHOWN AS 'RN') AND RELATED CIRCUITRY BACK TO NEAREST JUNCTION BOX COMPLETE AS REQUIRED. RETAIN ALL ASSOCIATED WIRING, CONDUIT, ETC. FOR USE WITH NEW EXIT SIGNS.



1 ED101 **UNIT "A" ELECTRICAL FIRST FLOOR DEMOLITION PLAN**

1/8" = 1'-0"

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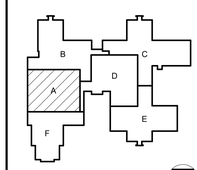
PROJECT:

BOONE GROVE HIGH SCHOOL RENOVATION AND RELATED WORK

PORTER TOWNSHIP SCHOOL CORPORATION

260 S 500 W
VALPARAISO, IN 46385



KEY PLAN

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DRAWING
UNIT "A" ELECTRICAL FIRST FLOOR DEMOLITION PLAN

PROJECT
BOONE GROVE HIGH SCHOOL RENOVATION AND RELATED WORK

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GENERAL NOTES

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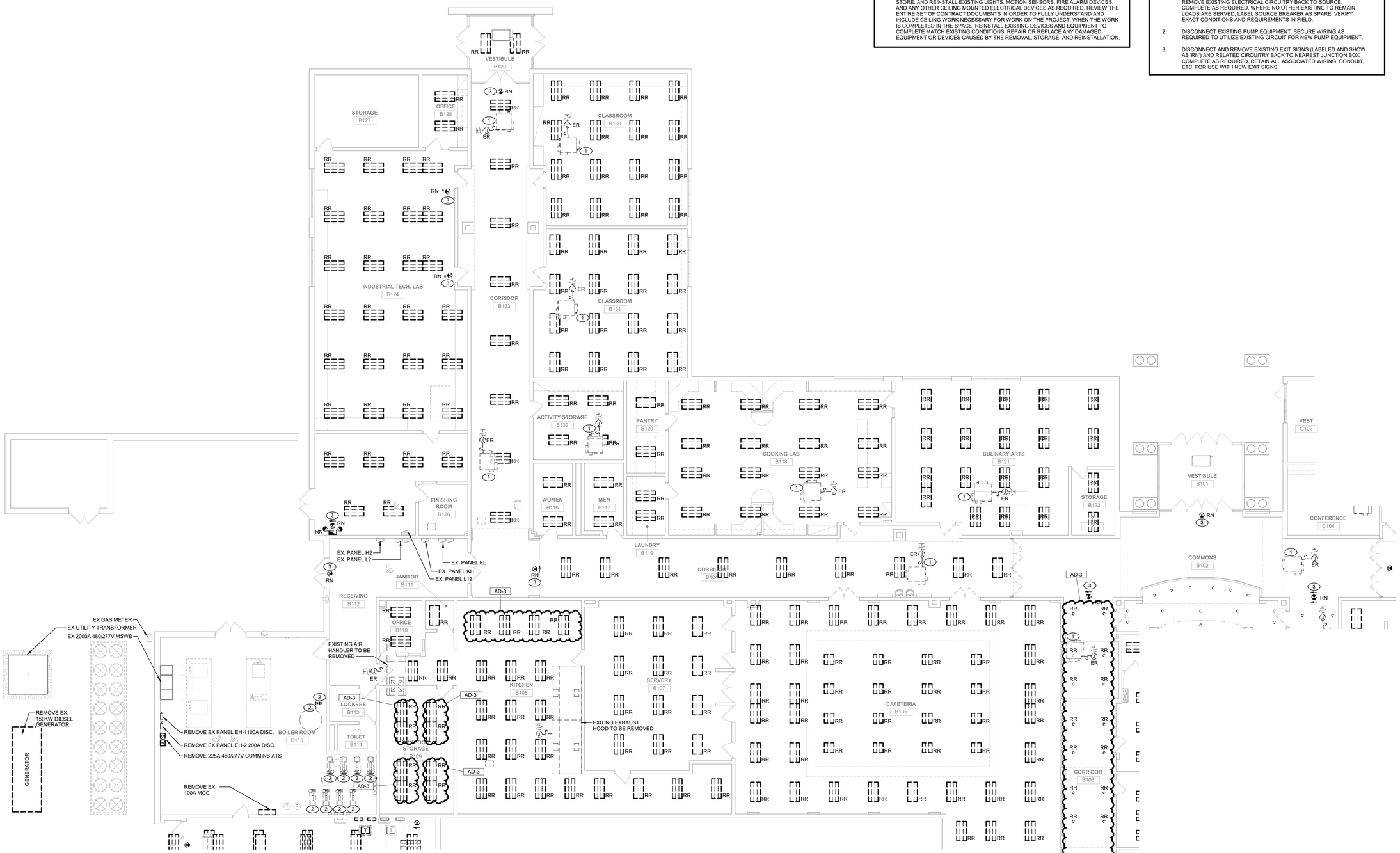
SHEET NOTES

1. EXISTING FAN POWERED BOX TO BE REMOVED. DISCONNECT AND REMOVE EXISTING ELECTRICAL CIRCUITRY BACK TO SOURCE. COMPLETE AS REQUIRED. WHERE NO OTHER EXISTING TO REMAIN LOADS ARE SERVED, LABEL SOURCE BREAKER AS SPARE. VERIFY EXACT CONDITIONS AND REQUIREMENTS IN FIELD.
2. DISCONNECT EXISTING PUMP EQUIPMENT. SECURE WIRING AS REQUIRED TO UTILIZE EXISTING CIRCUIT FOR NEW PUMP EQUIPMENT.
3. DISCONNECT AND REMOVE EXISTING EXIT SIGNS (LABELED AND SHOW AS 'RN') AND RELATED CIRCUITRY BACK TO NEAREST JUNCTION BOX. COMPLETE AS REQUIRED. RETAIN ALL ASSOCIATED WIRING, CONDUIT, ETC. FOR USE WITH NEW EXIT SIGNS.



1 ED102 **UNIT "B" ELECTRICAL FIRST FLOOR DEMOLITION PLAN**

1/8" = 1'-0"

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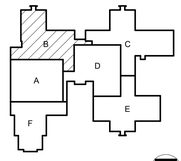

KEY PLAN

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DRAWING
UNIT "B" ELECTRICAL FIRST FLOOR DEMOLITION PLAN

PROJECT
BOONE GROVE HIGH SCHOOL RENOVATION AND RELATED WORK

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SHEET NOTES

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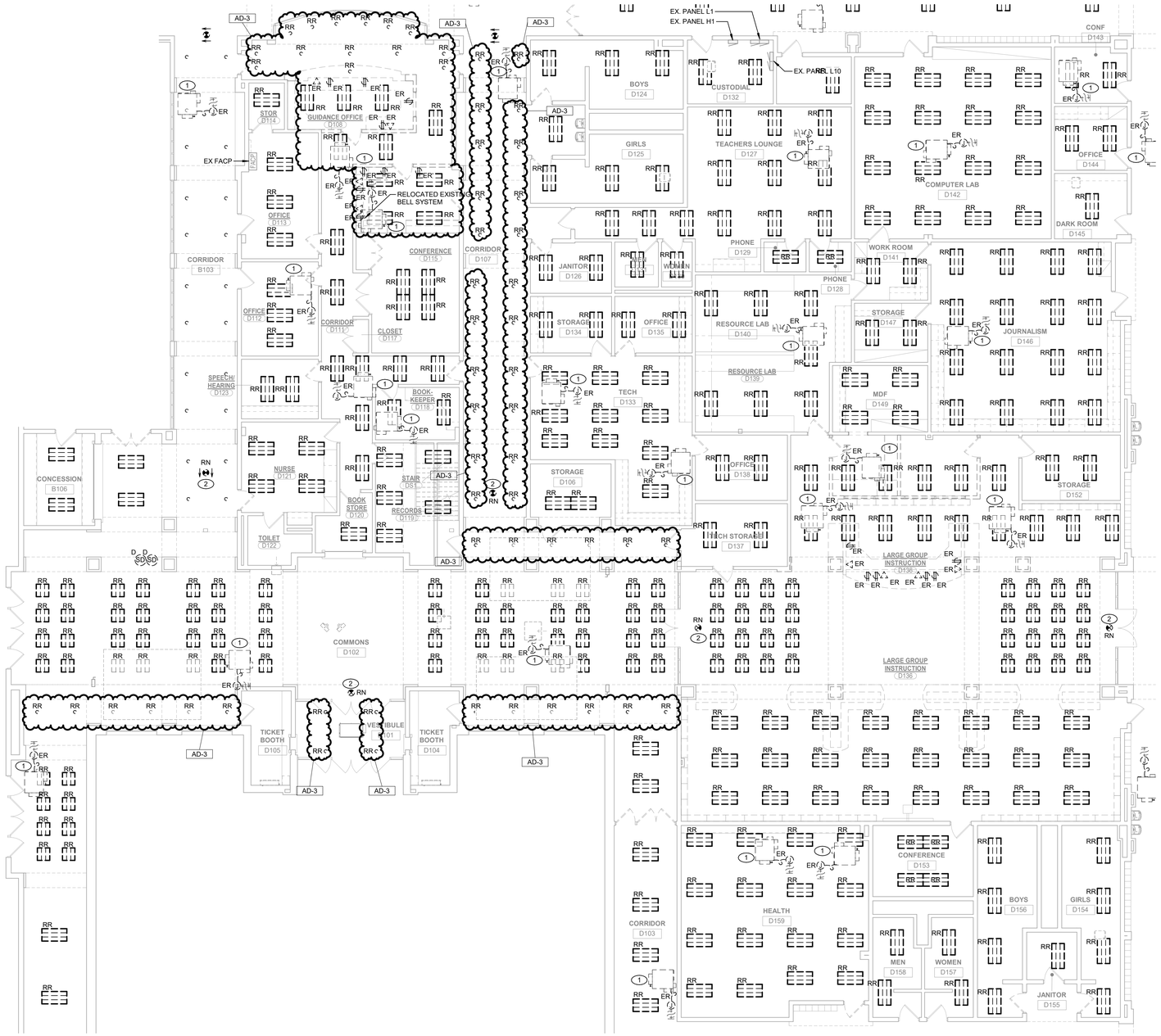

1 ED104 **UNIT "D" ELECTRICAL FIRST FLOOR DEMOLITION PLAN**

1/8" = 1'-0"

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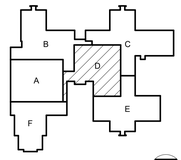

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DRAWING
UNIT "D" ELECTRICAL FIRST FLOOR DEMOLITION PLAN

PROJECT
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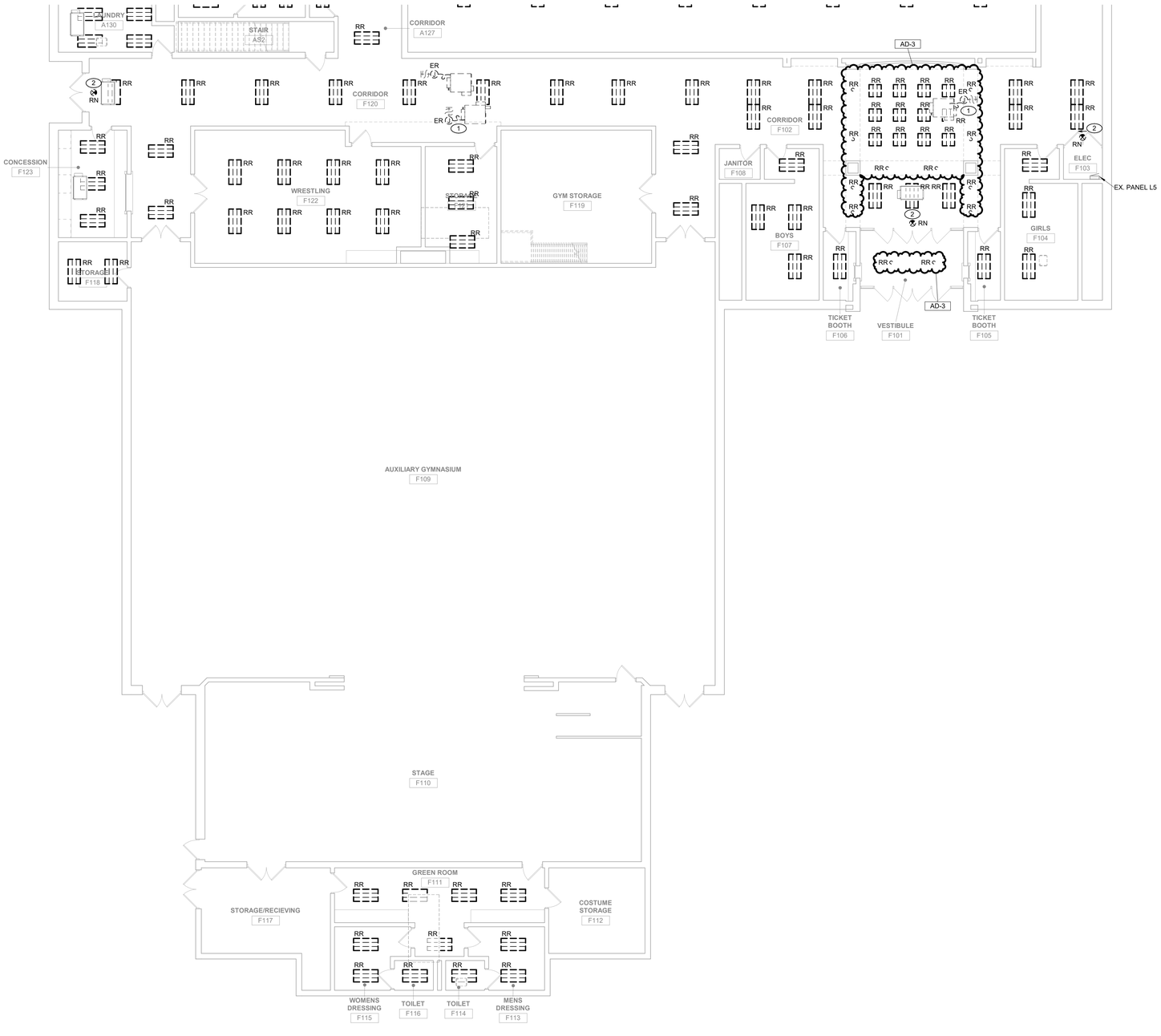

1 ED106 **UNIT "F" ELECTRICAL FIRST FLOOR DEMOLITION PLAN**

1/8" = 1'-0"

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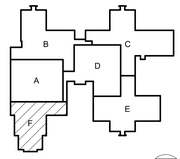

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MARK	DATE	ISSUED FOR
AD-2	10/09/25	ADDENDUM NO. 2
AD-3	10/16/25	ADDENDUM NO. 3

DRAWING
UNIT "F" ELECTRICAL FIRST FLOOR DEMOLITION PLAN

PROJECT
BOONE GROVE HIGH SCHOOL RENOVATION AND RELATED WORK

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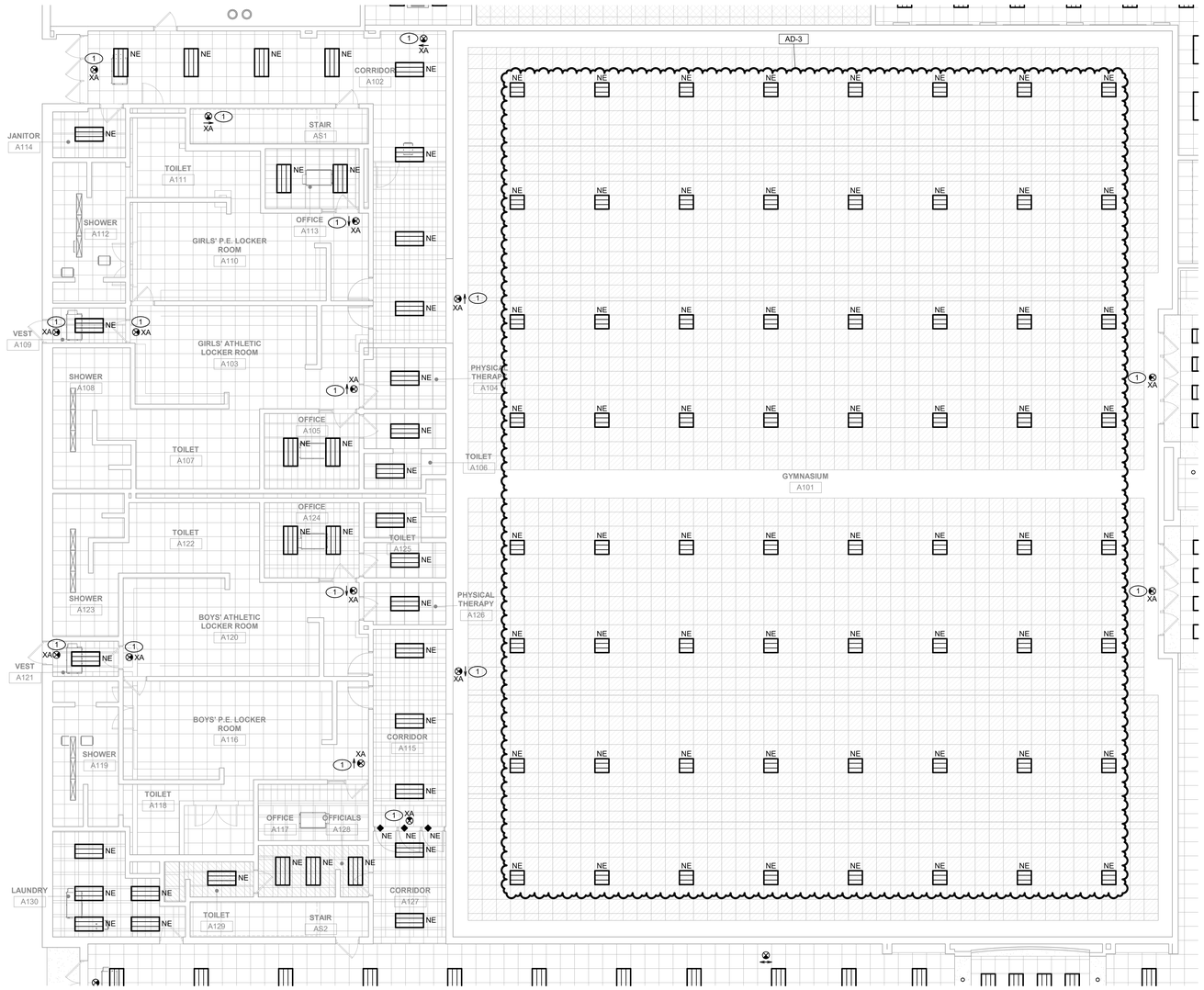
GENERAL NOTES

1. EXISTING LIGHTING TO REMAIN UNLESS OTHERWISE NOTED. WHERE NECESSARY TO PERFORM MECHANICAL WORK ABOVE EXISTING CEILINGS, REMOVE, STORE, AND REINSTALL EXISTING LIGHTS, MOTION SENSORS, FIRE ALARM DEVICES, AND ANY OTHER CEILING MOUNTED ELECTRICAL DEVICES AS REQUIRED. REVIEW THE ENTIRE SET OF CONTRACT DOCUMENTS IN ORDER TO FULLY UNDERSTAND AND INCLUDE CEILING WORK NECESSARY FOR WORK ON THE PROJECT. WHEN THE WORK IS COMPLETED IN THE SPACE, REINSTALL EXISTING DEVICES AND EQUIPMENT TO COMPLETE MATCH EXISTING CONDITIONS. REPAIR OR REPLACE ANY DAMAGED EQUIPMENT OR DEVICES CAUSED BY THE REMOVAL, STORAGE, AND REINSTALLATION.

SHEET NOTES

1. CONNECT NEW EXIT SIGN LIGHTING FIXTURES TO EXISTING EXIT SIGN EMERGENCY LIGHTING CIRCUITRY COMPLETE AS REQUIRED, MAXIMUM 4400W PER 277 VOLT CIRCUIT. WHERE NECESSARY, DUE TO LIMITATIONS IN THE EXISTING CIRCUITRY, THIS CONTRACTOR SHALL FURNISH AND INSTALL 20A-1 POLE CIRCUIT BREAKERS AS REQUIRED IN EXISTING SPACE OF EXISTING PANEL, AND EXTEND 2 #12 AND 1 #12 GRD IN 3/4" CONDUIT COMPLETE AS REQUIRED. VERIFY CONDITIONS AND REQUIREMENTS IN FIELD.



1 E-101 **UNIT "A" ELECTRICAL FIRST FLOOR PLAN**

1/8" = 1'-0"

NORTH

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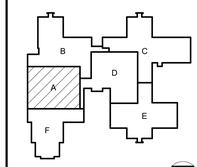

KEY PLAN

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REVISIONS

MARK	DATE	ISSUED FOR
AD-3	10/16/25	ADDENDUM NO. 3

DRAWING
UNIT "A" ELECTRICAL FIRST FLOOR PLAN

PROJECT
BOONE GROVE HIGH SCHOOL RENOVATION AND RELATED WORK

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SHEET
A
E-101

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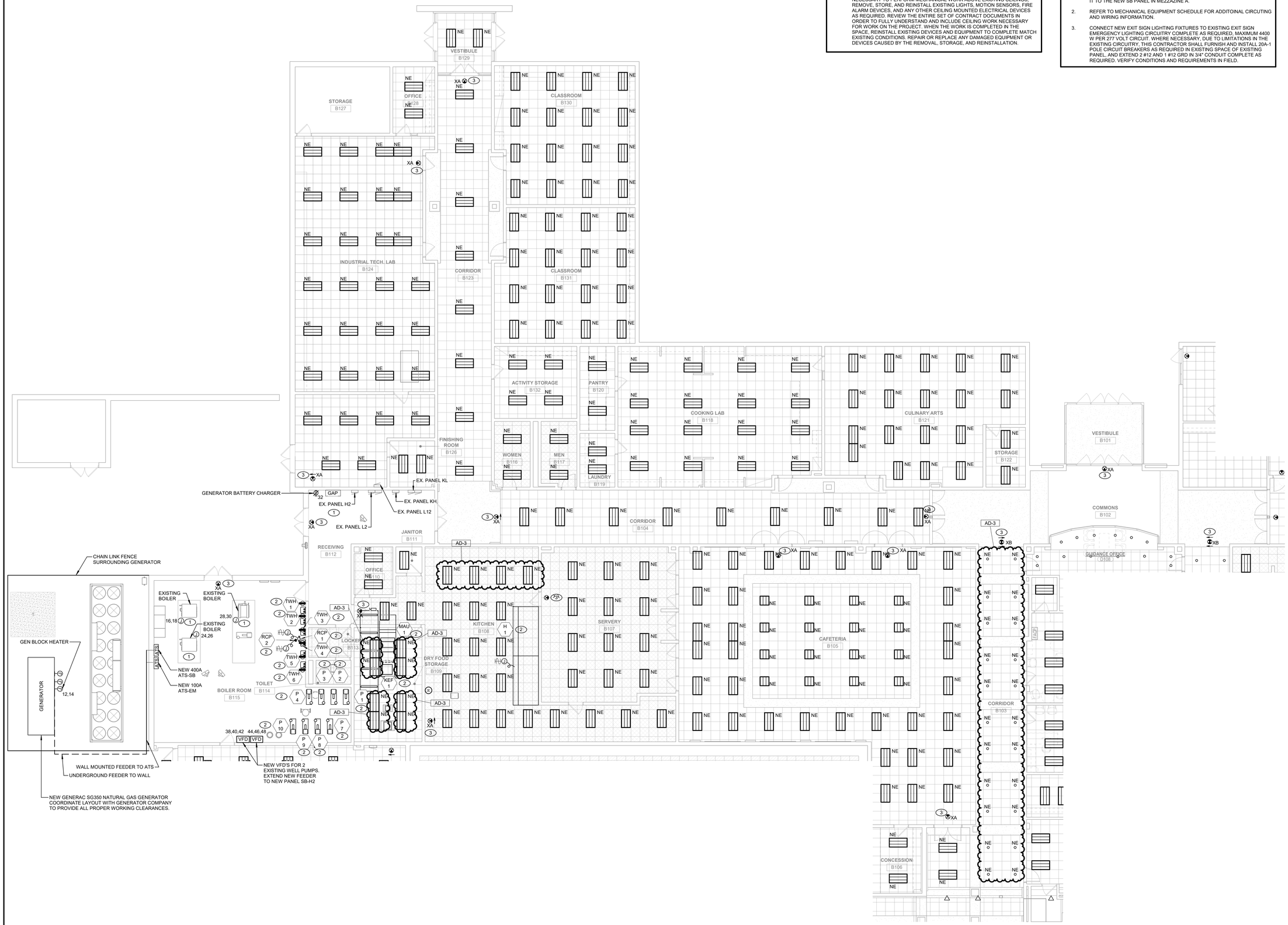
GENERAL NOTES

1. EXISTING LIGHTING TO REMAIN UNLESS OTHERWISE NOTED. WHERE NECESSARY TO PERFORM MECHANICAL WORK ABOVE EXISTING CEILINGS, REMOVE, STORE, AND REINSTALL EXISTING LIGHTS, MOTION SENSORS, FIRE ALARM DEVICES, AND ANY OTHER CEILING MOUNTED ELECTRICAL DEVICES AS REQUIRED. REVIEW THE ENTIRE SET OF CONTRACT DOCUMENTS IN ORDER TO FULLY UNDERSTAND AND INCLUDE CEILING WORK NECESSARY FOR WORK ON THE PROJECT. WHEN THE WORK IS COMPLETED IN THE SPACE, REINSTALL EXISTING DEVICES AND EQUIPMENT TO COMPLETE MATCH EXISTING CONDITIONS. REPAIR OR REPLACE ANY DAMAGED EQUIPMENT OR DEVICES CAUSED BY THE REMOVAL, STORAGE, AND REINSTALLATION.

SHEET NOTES

1. FROM EXISTING PANEL L2 REMOVE BOILER CONNECTIONS AND RECONNECT IT TO THE NEW SB PANEL IN MEZZAZINE A.
2. REFER TO MECHANICAL EQUIPMENT SCHEDULE FOR ADDITOINAL CIRCUTING AND WIRING INFORMATION.
3. CONNECT NEW EXIT SIGN LIGHTING FIXTURES TO EXISTING EXIT SIGN EMERGENCY LIGHTING CIRCUITRY COMPLETE AS REQUIRED. MAXIMUM 4400 W PER 277 VOLT CIRCUIT. WHERE NECESSARY, DUE TO LIMITATIONS IN THE EXISTING CIRCUITRY, THIS CONTRACTOR SHALL FURNISH AND INSTALL 20A-1 POLE CIRCUIT BREAKERS AS REQUIRED IN EXISTING SPACE OF EXISTING PANEL, AND EXTEND 2 #12 AND 1 #12 GRD IN 3/4" CONDUIT COMPLETE AS REQUIRED. VERIFY CONDITIONS AND REQUIREMENTS IN FIELD.



1 UNIT "B" ELECTRICAL FIRST FLOOR PLAN

E-102 1/8" = 1'-0"

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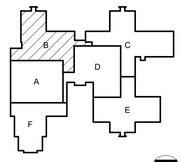
PROJECT:

BOONE GROVE HIGH SCHOOL RENOVATION AND RELATED WORK

PORTER TOWNSHIP SCHOOL CORPORATION
260 S 500 W
VALPARAISO, IN 46385



KEY PLAN

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PROJECT
24-143
DATE
Sept 15, 2025
COORDINATED BY
AG
DRAWN BY
MG
CHECKED BY
DJ

DAVID G. JANNEY REGISTERED NO. 10302590 STATE OF INDIANA PROFESSIONAL ENGINEER

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REVISIONS

MARK	DATE	ISSUED FOR
AD-2	10/09/25	ADDENDUM NO. 2
AD-3	10/16/25	ADDENDUM NO. 3

DRAWING
UNIT "B" ELECTRICAL FIRST FLOOR PLAN

PROJECT
BOONE GROVE HIGH SCHOOL RENOVATION AND RELATED WORK

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B

SHEET
E-102

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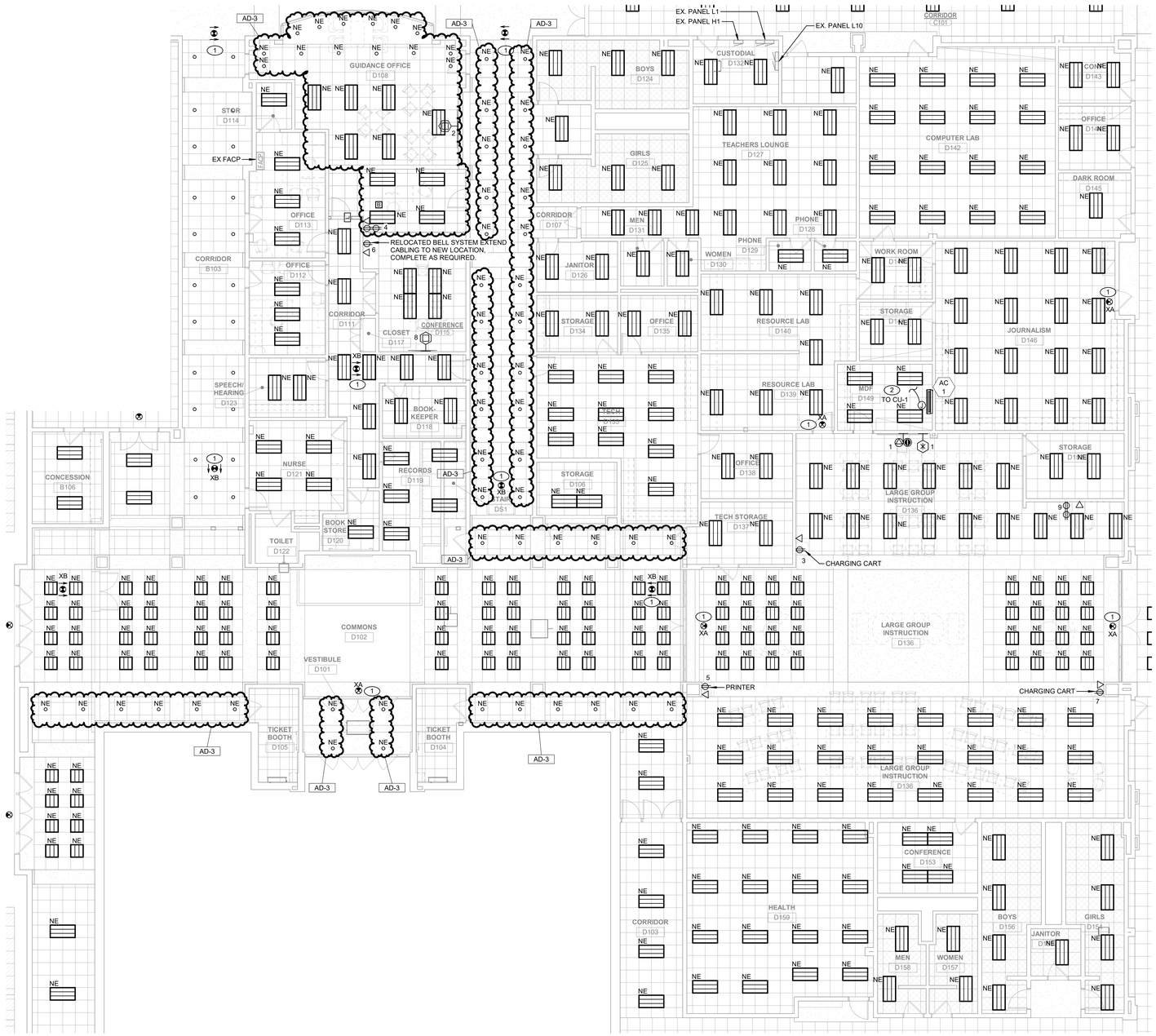
GENERAL NOTES

1. EXISTING LIGHTING TO REMAIN UNLESS OTHERWISE NOTED. WHERE NECESSARY TO PERFORM MECHANICAL WORK ABOVE EXISTING CEILINGS, REMOVE, STORE, AND REINSTALL EXISTING LIGHTS, MOTION SENSORS, FIRE ALARM DEVICES, AND ANY OTHER CEILING MOUNTED ELECTRICAL DEVICES AS REQUIRED. REVIEW THE ENTIRE SET OF CONTRACT DOCUMENTS IN ORDER TO FULLY UNDERSTAND AND INCLUDE CEILING WORK NECESSARY FOR WORK ON THE PROJECT. WHEN THE WORK IS COMPLETED IN THE SPACE, REINSTALL EXISTING DEVICES AND EQUIPMENT TO COMPLETE MATCH EXISTING CONDITIONS. REPAIR OR REPLACE ANY DAMAGED EQUIPMENT OR DEVICES CAUSED BY THE REMOVAL, STORAGE, AND REINSTALLATION.
2. CIRCUIT NUMBERS SHOWN ARE NOT ACTUAL, BUT ARE SHOWN TO INDICATED CIRCUITING REQUIREMENTS. VERIFY ACTUAL CIRCUIT NUMBER ASSIGNMENTS IN FIELD. UTILIZE EXISTING SPARE CIRCUITS MADE AVAILABLE BY DEMOLITION OF EXISTING DEVICES AND EQUIPMENT. ADDITIONAL CIRCUITS NEEDED SHALL UTILIZE EXISTING OR NEW 20A/1P CIRCUIT BREAKERS IN EXISTING PANEL L1 FOR OFFICE AND AND L4 FOR MEDIA CENTER.

SHEET NOTES

1. CONNECT NEW EXIT SIGN LIGHTING FIXTURES TO EXISTING EXIT SIGN EMERGENCY LIGHTING CIRCUITRY COMPLETE AS REQUIRED, MAXIMUM 4400 W PER 277 VOLT CIRCUIT. WHERE NECESSARY, DUE TO LIMITATIONS IN THE EXISTING CIRCUITRY, THIS CONTRACTOR SHALL FURNISH AND INSTALL 20A-1 POLE CIRCUIT BREAKERS AS REQUIRED IN EXISTING SPACE OF EXISTING PANEL, AND EXTEND 2 #12 AND 1 #12 GRD IN 3/4" CONDUIT COMPLETE AS REQUIRED. VERIFY CONDITIONS AND REQUIREMENTS IN FIELD.
2. REFER TO MECHANICAL EQUIPMENT CONNECTION SCHEDULE FOR ADDITIONAL CIRCUITING AND WIRING INFORMATION.



1 E-104 **UNIT "D" ELECTRICAL FIRST FLOOR PLAN**
1/8" = 1'-0"

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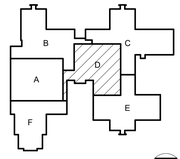
PROJECT:

BOONE GROVE HIGH SCHOOL RENOVATION AND RELATED WORK

PORTER TOWNSHIP SCHOOL CORPORATION
260 S 500 W
VALPARAISO, IN 46385



KEY PLAN

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MG
CHECKED BY
DJ

DAVID G. JANNEY REGISTERED NO. 10302590 STATE OF INDIANA PROFESSIONAL ENGINEER

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DRAWING
UNIT "D" ELECTRICAL FIRST FLOOR PLAN

PROJECT
BOONE GROVE HIGH SCHOOL RENOVATION AND RELATED WORK

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GENERAL NOTES

1. EXISTING LIGHTING TO REMAIN UNLESS OTHERWISE NOTED. WHERE NECESSARY TO PERFORM MECHANICAL WORK ABOVE EXISTING CEILINGS, REMOVE, STORE, AND REINSTALL EXISTING LIGHTS, MOTION SENSORS, FIRE ALARM DEVICES, AND ANY OTHER CEILING MOUNTED ELECTRICAL DEVICES AS REQUIRED. REVIEW THE ENTIRE SET OF CONTRACT DOCUMENTS IN ORDER TO FULLY UNDERSTAND AND INCLUDE CEILING WORK NECESSARY FOR WORK ON THE PROJECT. WHEN THE WORK IS COMPLETED IN THE SPACE, REINSTALL EXISTING DEVICES AND EQUIPMENT TO COMPLETE MATCH EXISTING CONDITIONS. REPAIR OR REPLACE ANY DAMAGED EQUIPMENT OR DEVICES CAUSED BY THE REMOVAL, STORAGE, AND REINSTALLATION.

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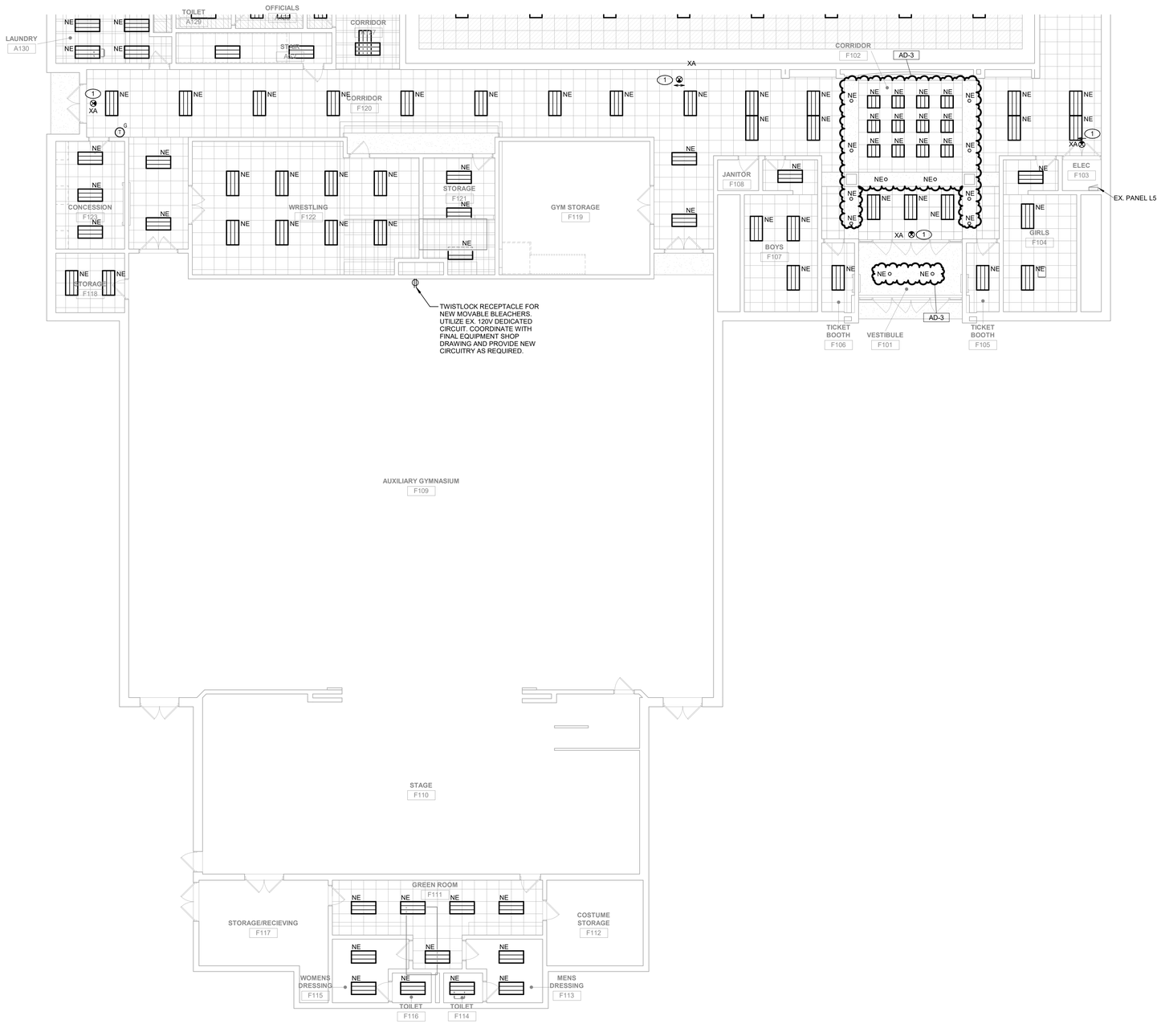

1 / E-106 UNIT "F" ELECTRICAL FIRST FLOOR PLAN

1/8" = 1'-0"

NORTH

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BOONE GROVE HIGH SCHOOL RENOVATION AND RELATED WORK

PORTER TOWNSHIP SCHOOL CORPORATION
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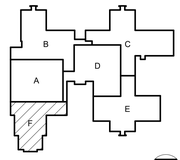
VALPARAISO, IN 46385



KEY PLAN

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AD-3	10/16/25	ADDENDUM NO. 3

DRAWING
UNIT "F" ELECTRICAL FIRST FLOOR PLAN

PROJECT
BOONE GROVE HIGH SCHOOL RENOVATION AND RELATED WORK

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F

SHEET
E-106

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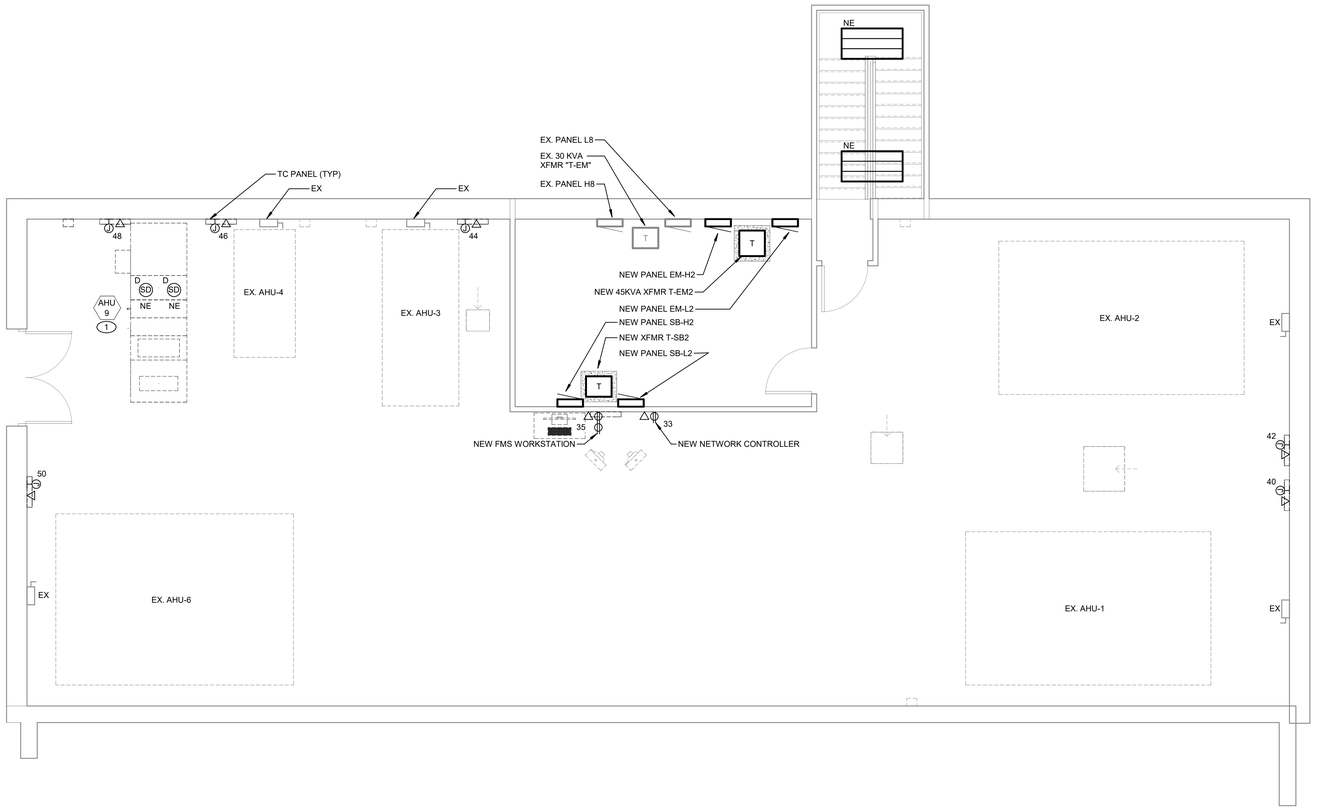
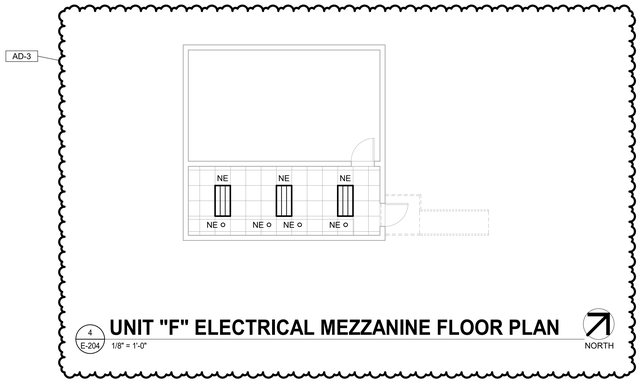
SHEET NOTES

1. REFER TO MECHANICAL EQUIPMENT CONNECTION SCHEDULE FOR ADDITIONAL CIRCUITING AND WIRING INFORMATION.
2. EXISTING FAN POWERED BOX TO BE REMOVED. DISCONNECT AND REMOVE EXISTING ELECTRICAL CIRCUITRY BACK TO SOURCE. COMPLETE AS REQUIRED. WHERE NO OTHER EXISTING TO REMAIN LOADS ARE SERVED, LABEL SOURCE BREAKER AS SPARE. VERIFY EXACT CONDITIONS AND REQUIREMENTS IN FIELD.

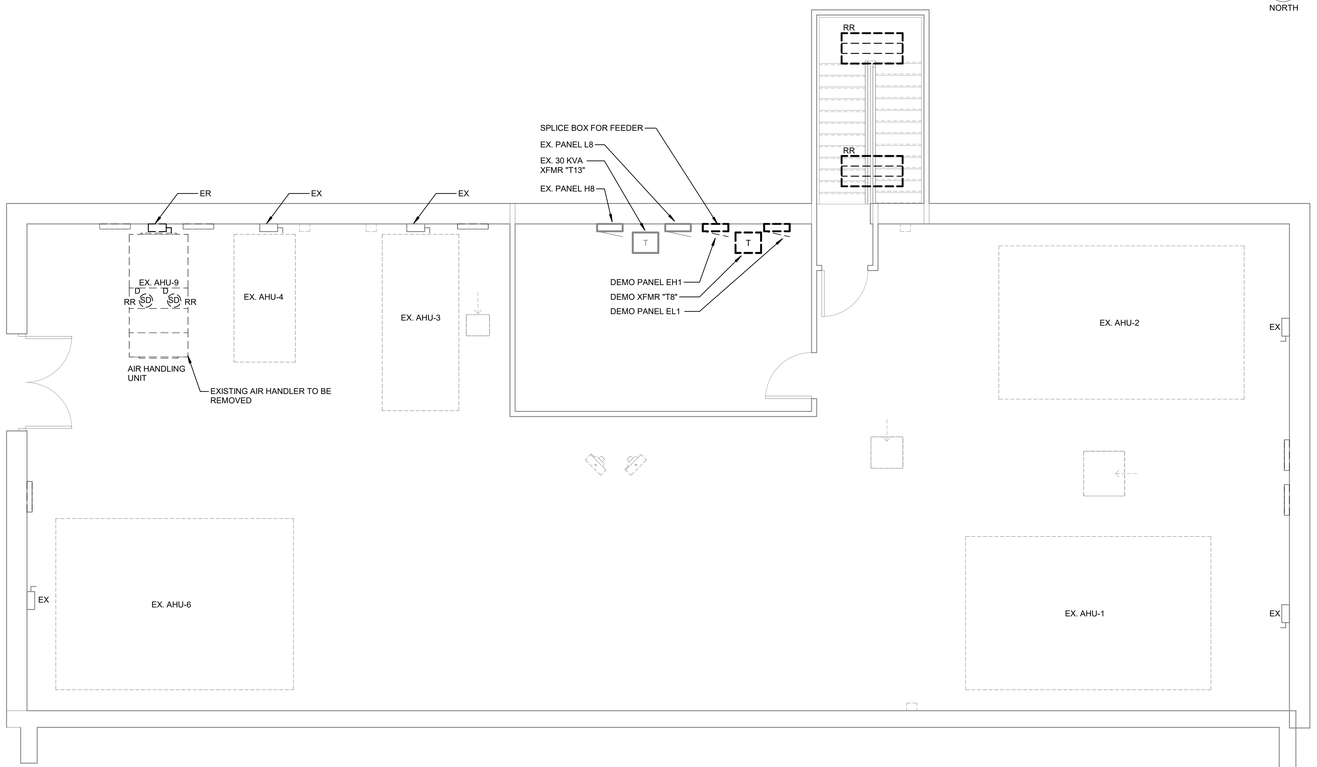
AD-3



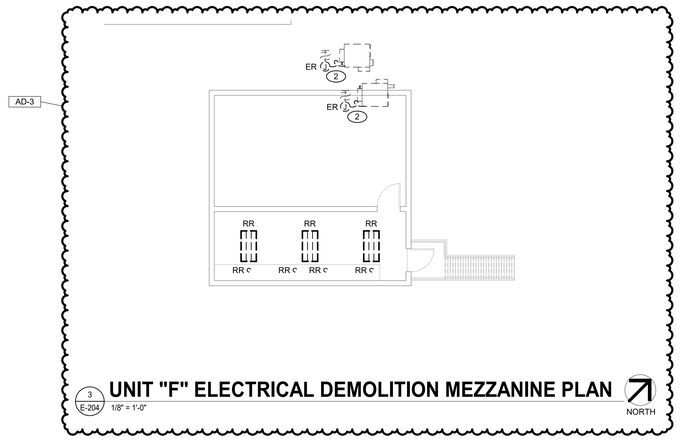
2 E-204 **UNIT "D" ELECTRICAL POWER MEZZANINE PLAN**
1/4" = 1'-0"
NORTH



4 E-204 **UNIT "F" ELECTRICAL MEZZANINE FLOOR PLAN**
1/8" = 1'-0"
NORTH



1 E-204 **UNIT "D" ELECTRICAL DEMOLITION MEZZANINE PLAN**
1/4" = 1'-0"
NORTH



3 E-204 **UNIT "F" ELECTRICAL DEMOLITION MEZZANINE PLAN**
1/8" = 1'-0"
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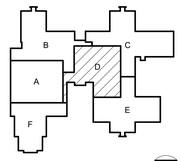

KEY PLAN
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DRAWING
UNIT "D" & "F" ELECTRICAL MEZZANINE PLANS

PROJECT
BOONE GROVE HIGH SCHOOL RENOVATION AND RELATED WORK

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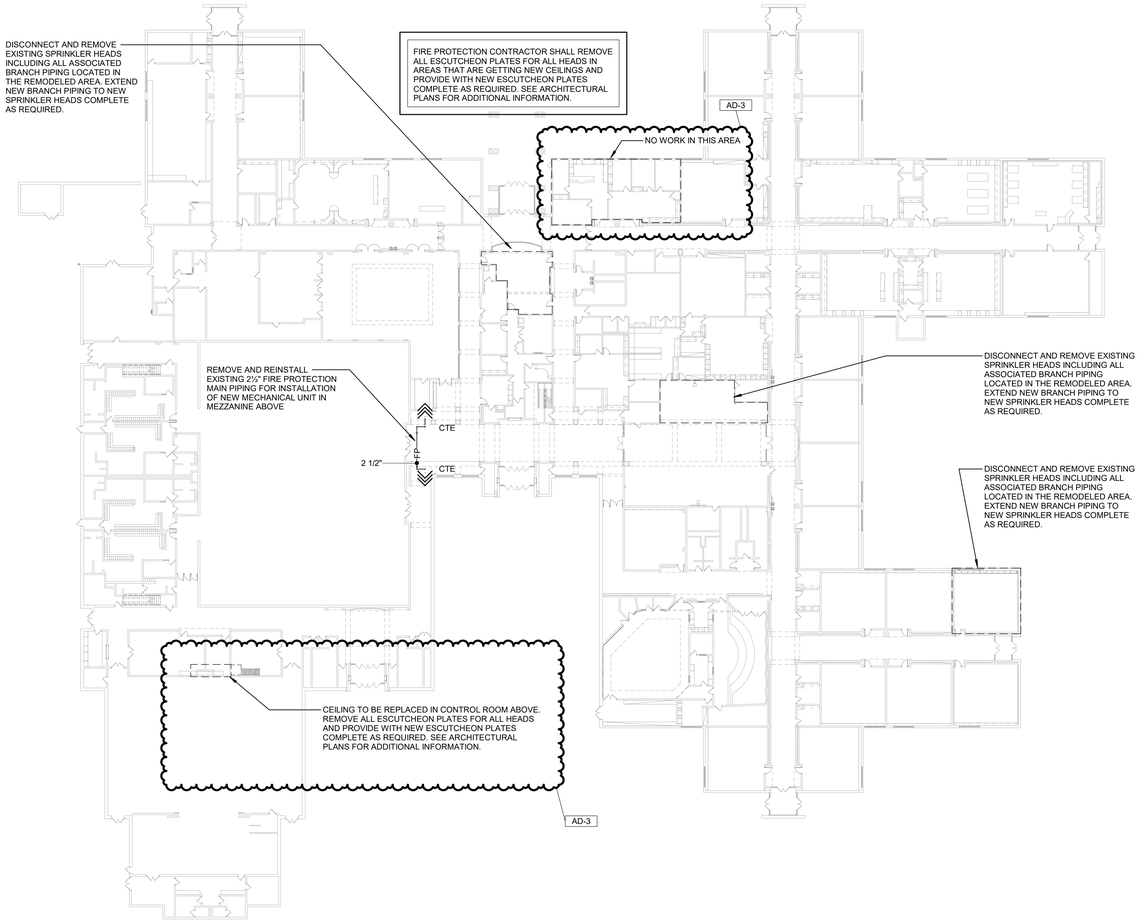
OVERALL FIRE PROTECTION PLAN



GENERAL NOTES

A. WORK SHALL COMPLY WITH LOCAL, MUNICIPAL, STATE FIRE PROTECTION CODES, THE LATEST NFPA 13 REQUIREMENTS.

B. THE SCOPE OF WORK SPECIFIED HEREIN AND IN THE SPECIFICATIONS SHALL BE COORDINATED WITH THE CONSTRUCTION MANAGER - REFER TO THE SCOPE OF WORK FOR EACH TRADE. ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND CONSTRUCTION MANAGERS SCOPE SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER FOR CLARIFICATION. THE ARCHITECT/ENGINEER'S DECISION SHALL BE FINAL.

C. THE ENTIRE BUILDING SHALL BE FURNISHED AND INSTALLED WITH A COMPLETE AUTOMATIC SPRINKLER SYSTEM. EXISTING, REMODELED AND NEW ADDITION AREAS OF THIS BUILDING SHALL BE COVERED INCLUDING TUNNEL, ATTIC, CRAWLSPACE AND INTERSTITIAL SPACES.

D. THE BUILDING HAS MULTIPLE OCCUPANCY CLASSIFICATIONS AND THE SPRINKLER SYSTEM SHALL BE DESIGNED FOR EACH CLASSIFICATION ACCORDING TO NFPA REQUIREMENTS. FOR PORTIONS OF THE FACILITY WITH AREAS OF DIFFERENT CLASSIFICATIONS THAT ARE NOT PHYSICALLY SEPARATED BY A BARRIER OR PARTITION, THE REQUIRED SPRINKLER PROTECTION FOR THE MORE DEMANDING AREA SHALL EXTEND 15'-0" BEYOND ITS PERIMETER.

a. GENERAL AREAS ARE LIGHT HAZARD, 0.10 GPM/SQ.FT. FOR THE MOST REMOTE 1500 SQ.FT.

b. KITCHEN AREA IS ORDINARY HAZARD (GROUP 1), 0.15 GPM SQ.FT. FOR THE MOST REMOTE 1500 SQ.FT.

E. THE REMODELED AREA SHALL HAVE THE EXISTING SPRINKLER SYSTEM MODIFIED WITH NEW SPRINKLER HEADS DESIGNED TO DELIVER A DENSITY OF .10 GPM OVER THE MOST REMOTE 1500 SQ.FT. CALCULATIONS SHALL BE IN ACCORDANCE WITH THE LATEST NFPA #13 CHAPTER FOR LIGHT HAZARD.

F. LAYOUT IS DIAGRAMMATIC. INSTALL PIPING AND EQUIPMENT TO MEET ACTUAL FIELD CONDITIONS. REVIEW PROJECT SPECIFICATIONS BEFORE STARTING ANY WORK. SUBMIT SHOP DRAWINGS OF WORK AS PER SPECIFICATIONS.

G. COORDINATE PHASING OF WORK AND PROVIDE TEMPORARY PIPING AND SERVICES AS REQUIRED FOR THE IMPLEMENTATION OF WORK WHILE MAINTAINING SERVICES TO PORTIONS OF BUILDING TO REMAIN OCCUPIED.

H. SCHEDULE WORK TO AVOID DOWNTIME AND INCONVENIENCE TO OWNER. OWNER'S EXISTING FACILITY SHALL REMAIN IN OPERATION AT TIMES. REQUIRED SHUTDOWN OF EXISTING UTILITIES SHALL BE SCHEDULED WITH OWNER'S OPERATING PERSONNEL. NOTIFY OWNER'S REPRESENTATIVE 48 HOURS IN ADVANCE PRIOR TO ANY SHUTDOWN OF EXISTING SYSTEMS.

I. FIRE PROTECTION PIPING ROUTING TO BE FIELD COORDINATED WITH NEW AND EXISTING HVAC DUCTWORK, HVAC PIPING, PLUMBING PIPING AND STRUCTURE TO ENSURE NO CONFLICTS WILL OCCUR DUE TO INTERFERENCE.

J. REFER TO ARCHITECTURAL REFLECTED CEILING PLANS FOR HVAC DIFFUSER LAYOUT AND ELECTRICAL SPECIALTY DEVICES IN CONJUCTION WITH ELECTRICAL LIGHTING, SPRINKLER HEAD LAYOUT, AND CEILING GRID SYSTEM.

K. VISIT SITE PRIOR TO BIDDING TO DETERMINE FIELD CONDITIONS. COORDINATE NEW INSTALLATIONS WITH EXISTING SYSTEMS. EXISTING CONDUIT, PIPING, DUCTWORK, EQUIPMENT, ETC., SHALL BE REWORKED AS REQUIRED TO AVOID CONFLICTS WITH THE INSTALLATION OF THE NEW FIRE PROTECTION SYSTEMS. NO EXTRAS WILL BE ALLOWED AFTER BIDDING FOR ANY REWORK OF EXISTING FIELD CONDITIONS TO RESOLVE CONFLICTS OR NOT FULLY UNDERSTANDING THE SCOPE OF THE WORK REQUIRED.

L. EXISTING INFORMATION IDENTIFIED ON THE CONTRACT DOCUMENTS IS SCHEMATIC ONLY AS AN AID TO THE CONTRACTOR. PROPERLY ADDRESS EXISTING CONDITIONS FOR A COMPLETE AND PROPER INSTALLATION OF NEW SYSTEMS. EXISTING EQUIPMENT NOT IDENTIFIED SHALL BE REPORTED IN WRITTEN FORM FOR REVIEW AS TO WHETHER THE EQUIPMENT SHALL REMAIN AND BE RECONNECTED TO THE NEW SERVICES, BE RELOCATED, BE ABANDONED, ETC.

M. HIDDEN CONDITIONS IDENTIFIED THROUGH THE COURSE OF CONSTRUCTION SHALL BE IMMEDIATELY REPORTED IN WRITTEN FORM FOR REVIEW AND DIRECTION. FAILURE TO DO SO SHALL MAKE THE CONTRACTOR RESPONSIBLE FOR REQUIRED CHANGES AND COSTS TO CORRECT SAID HIDDEN CONDITION.

N. COORDINATE NEW INSTALLATIONS WITH EXISTING SYSTEMS. EXISTING CONDUIT, PIPING, DUCTWORK, EQUIPMENT, ETC., SHALL BE REWORKED AS REQUIRED TO AVOID CONFLICTS WITH THE INSTALLATION OF THE NEW FIRE PROTECTION SYSTEMS. NO EXTRAS WILL BE ALLOWED AFTER BIDDING FOR ANY REWORK OF EXISTING FIELD CONDITIONS TO RESOLVE CONFLICTS OR NOT FULLY UNDERSTANDING THE SCOPE OF THE WORK REQUIRED.

O. REMOVE EXISTING CEILINGS REQUIRED FOR INSTALLATION OF NEW WORK. REINSTALL CEILING UPON COMPLETION OF WORK - REPLACE DAMAGED CEILING MATERIALS TO MATCH EXISTING. GYPSUM BOARD CEILINGS: PROVIDE CONCEALED CONTROL JOINT AT EDGES ABUTTING EXISTING GYPSUM BOARD CEILINGS. TAPE IN NEW AREAS TO EXISTING FLUSH - PROVIDE TEXTURE TO MATCH EXISTING.

P. REMOVE EXISTING SPRINKLER HEADS AND ASSOCIATED BRANCH SPRINKLER PIPING COMPLETE AS REQUIRED. EXTEND AND MODIFY EXISTING PIPING AS REQUIRED FOR NEW SPRINKLER HEAD LAYOUT.

Q. REMOVED PIPING IS TO BE TERMINATED PROPERLY BACK TO EXISTING MAINS. CAP PIPING WATERTIGHT. PROVIDE ADDITIONAL PIPING AS REQUIRED TO MAINTAIN CONTINUITY OF EXISTING SYSTEMS MODIFIED DUE TO REMOVAL OF PORTION OF SYSTEMS. NO EQUIPMENT, PIPING, SUPPORTS, HANGERS, ETC, IS TO BE LEFT ABANDONED. VERIFY QUANTITY, LOCATION AND ELEVATION OF EXISTING TO BE REMOVED IN FIELD.

R. REMOVE EXISTING CEILINGS AND LIGHT FIXTURES REQUIRED FOR INSTALLATION OF NEW WORK. REINSTALL CEILING AND LIGHT FIXTURES UPON COMPLETION OF WORK. REPLACE DAMAGED CEILING MATERIALS TO MATCH EXISTING.

S. CUT OR CHANNEL INTO EXISTING WALL CONSTRUCTIONS AS REQUIRED FOR INSTALLATION OF NEW PIPING WITHIN EXISTING WALLS. PATCH WALL SURFACES AND FINISH AS REQUIRED TO MATCH EXISTING CONDITIONS.

T. SPRINKLER HEADS IN FINISHED CEILING SPACES SHALL BE SEMI-RECESSED TYPE WITH WHITE ESCUTCHEON PLATE OR CONCEALED TYPE. SPRINKLER HEADS IN UNFINISHED SPACES SHALL BE PENDENT, UPRIGHT, OR SIDEWALL TYPE.

U. SPRINKLER HEADS LOCATED IN SUSPENDED LAY-IN CEILING SYSTEMS SHALL BE CENTERED IN EACH RESPECTIVE TILE. PROVIDE 6" SWINGS TO PLACE THE SPRINKLER IN THE CENTER OF THE TILE.

V. PIPING SHALL BE HYDROSATICALLY TESTED AT 200 PSI OR 50 PSI OVER THE MAXIMUM OPERATING PRESSURE, WHICHEVER IS GREATER, FOR A PERIOD OF TWO HOURS.

W. PIPES SHALL BE SUPPORTED FROM THE BUILDING STRUCTURE IN ACCORDANCE WITH THE LATEST NFPA #13.

X. PIPING, EQUIPMENT, ETC. SHALL NOT BE SUPPORTED FROM THE BOTTOM CHORD OF ENGINEERED JOISTS WITHOUT WRITTEN APPROVAL FROM THE STRUCTURAL ENGINEER.

Y. WET SYSTEM PIPING SHALL BE INSTALLED LEVEL, TO DRAIN BACK TO THE SYSTEM RISER. TRAPPED SECTIONS OF PIPING SHALL HAVE AUXILLIARY DRAIN CONNECTIONS IN ACCORDANCE WITH LATEST NFPA #13.

Z. PROVIDE EXTENDED COVERAGE HEADS IN CORRIDORS WIDER THAN 15'-0".

SYMBOLS & ABBREVIATIONS LIST

●	CONCEALED TYPE SPRINKLER HEAD WITH WHITE COVER PLATE
○	SEMI-RECESSED TYPE SPRINKLER HEAD WITH WHITE ESCUTCHEON PLATE
▣	EXPOSED UPRIGHT OR PENDANT TYPE SPRINKLER HEAD
—FP—	FIRE PROTECTION PIPING
	PIPING ROUTED DN
	PIPING ROUTED UP
FP	FIRE PROTECTION

GIBRALTAR DESIGN
ARCHITECTURE · ENGINEERING · INTERIOR DESIGN

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PROJECT:

BOONE GROVE HIGH SCHOOL RENOVATION AND RELATED WORK

PORTER TOWNSHIP SCHOOL CORPORATION

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100% CONSTRUCTION SET

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PROJECT
24-143
DATE
Sept 15, 2025
COORDINATED BY
LvB
DRAWN BY
CC
CHECKED BY
DJ

DAVID G. JANNEY REGISTERED NO. 10302590 STATE OF INDIANA PROFESSIONAL ENGINEER

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REVISIONS

MARK	DATE	ISSUED FOR
AD-2	10/09/25	ADDENDUM NO. 2
AD-3	10/16/25	ADDENDUM NO. 3

DRAWING
FIRE PROTECTIN NOTES, SYMBOLS & ABBREVIATIONS

PROJECT
BOONE GROVE HIGH SCHOOL RENOVATION AND RELATED WORK

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